



**FLAHERTY PARK TENNIS COURTS RENOVATION AND RESTROOM UPGRADE**

**BID #0004-2025**

**TOWN OF WAKE FOREST  
RALEIGH, NC**

**PRE-BID CONFERENCE  
ADDENDUM NUMBER 1**

**APRIL 8, 2026, 1:00 P.M.**

1. A Pre-Bid Conference for the project was held on April 8, 2026, at 1:00 P.M. A list of attendees is attached.
2. Drawings and specifications are available from RVE, Inc. in the Durham office.

RVE, Inc.  
3211 Shannon Road  
Durham, NC 27707  
Telephone 919/493-5277

3. To receive a complimentary electronic copy of contract documents and to be placed on the distribution list, please send the following information to Patrick Haramija, e-mail: [Patrick.haramija@rve.com](mailto:Patrick.haramija@rve.com). Name and e-mail of individual, Company Name, Address, Web Site, Telephone Number and Fax Number.
4. Patrick Haramija thanked the contractors for taking the time to attend. The Town of Wake Forest staff and design team introduced themselves. He then covered general administrative items for the bidding process.
5. The designer provided the background and an overview of the project. The drawings and Scope of Work were reviewed and discussed.
6. A walk-through of the work areas was conducted to familiarize the contractors with the project site.
7. All bids must be submitted by April 30, 2026, by 2:00 P.M.

Bids can be submitted to the Town of Wake Forest, at the Wake Forest Purchasing Department, Attention: Hollie Aldridge, 234 Friendship Chapel Road, Wake Forest, NC 27587 up until Thursday, April 30, 2026, 1:00 P.M.

From 1:00 to 2:00 P.M., sealed bids can be submitted at the Wake Forest Town Hall, located at 301 S. Brooks Street, Wake Forest, NC 27587.

All bids must be submitted in a sealed envelope marked: Bid # 0004-2025 – Flaherty Park Tennis Court Renovation and Restroom Upgrade. To ensure a fair bidding process, questions and/or clarifications requested by contractors will not be accepted after an established cut-off date.

8. A cut-off date of April 15, 2026, at 5:00 P.M. for questions was established.

Contractors are encouraged to e-mail their questions as they have them and not hold them until later. The questions should be emailed to:

Project Manager: Patrick Haramija  
Mobile: (919) 545-1894  
E-mail: Patrick.haramija@rve.com

9. The project will be performed under a single prime contract.
10. Contractors shall familiarize themselves with Instruction to Bidders.
11. The Time of Completion including close-out is 330 days from the date of the notice to proceed. This included 270 days for Substantial Completion.
12. No work will be allowed during some special events and holidays. The Town of Wake Forest reserves the right to specify one more day when work will not be allowed. These are included in the completion time and will not be a cause for an extension in the completion date.
13. Contractors are responsible for compliance with the “Guidelines for Recruitment and Selection of Minority Businesses for Participation in State Construction Contracts” which is included in the specifications. The State has a verifiable 10% goal for participation by minority businesses. The Owner target is 10% of the work to be completed by a minority firm. Affidavit A – Listing of Good Faith Efforts is required. Documentation demonstrating compliance must be available for review and submission immediately following the bid opening. A contract award recommendation cannot be made by the engineer until compliance is verified. Each contractor must submit either Affidavit B or Affidavit C with the bid. The need to maintain good documentation of efforts to obtain minority participation was emphasized. Please contact Hollie Aldridge ([haldridge@wakeforestnc.gov](mailto:haldridge@wakeforestnc.gov)) if you have any questions or need help finding sub-contractors.
14. The contractors are responsible for site verification of existing conditions and distances. Locations and distances should not be scaled from the drawings. Any costs resulting from their failure to verify will be the contractor’s responsibility. No change order requests will be considered for items that can be verified by site observations and measurements, even if these are not consistent with drawings.
15. All addenda and project correspondence will be by E-mail only. Contractors should send an acknowledgment when they receive any correspondence.
16. Questions/Clarifications from the contractors were received during the pre-bid meeting. Responses to those questions are provided within this addendum. The site was visited to familiarize the contractors with the facility.
17. All contractors submitting proposals shall incorporate the items in this Addendum and all other addenda into their proposals and acknowledge receipt of the Addenda on their bid proposal forms. This Addendum shall be incorporated in the Drawings and Specifications which are a part of the Contract Documents and shall supersede anything contained therein with which it may conflict.

**DISTRIBUTION:**

Patrick Haramija            RVE, Inc.  
   Town of Wake Forest  
   Attendees of the Pre-Bid Meeting

# FLAHERTY PARK TENNIS COURTS RENOVATION AND RESTROOM UPGRADE

BID #0004-2025

TOWN OF WAKE FOREST  
RALEIGH, NC

## CLARIFICATIONS/ RESPONSES

### FROM PRE-BID CONFERENCE AND CONTRACTORS' QUESTIONS

#### Questions

1. **Question:** What is the schedule for construction?

**Answer:** The courts must be completed in six months or less. The courts cannot be out of commission for more than that. Ideally, some of the courts will become available for use in phases. Substantial completion for all work shall be achieved in 270 calendar days with an additional 60 days for punchlist and closeout.

2. **Question:** Will there be an allowance for unsuitable soils?

**Answer:** Please include a unit price (not an allowance) for the removal and replacement of unsuitable soils (priced per CY.)

3. **Question:** I know there is a 10% minority participation goal that must be met on this project, as discussed at the pre-bid meeting. I am a 100% women owned business; will this meet the requirement?

**Answer:** Yes, being a woman owned business meets the requirement and should be noted on the required minority forms included in the bid packet.

4. **Question:** Is there a unique edge detail for the courts?

**Answer:** No, there is not a unique edge detail. Please refer to the tennis court typical pavement detail. Note that parts of the court abut concrete.

5. **Question:** Does the asphalt extend past the court and fence?

**Answer:** Yes, the plans call for the pavement to extend 1' past the fence.

6. **Question:** Should reinforced grass be maintained/replaced?

**Answer:** Yes, contractor should replace reinforced grass grid, as needed. Please assume up to 3,000 SF.

7. **Question:** How will signage on the existing fencing be handled?

**Answer:** Signage shall be removed by the contractor, delivered to the owner, stored by the owner and reinstalled by the contractor (picked back up from owner).

#### Clarifications

In addition to the questions received, please see the following clarifications:

1. Please assume that the owner will be responsible for 3rd party testing but all other fees will be paid by the contractor.
2. Please include three bike racks on the bike rack concrete pad.
3. The 36' & 60' Blended Lines on 78' Courts detail, on sheet C-512, has been revised to show the correct striping and the 36' center marks. The site plan has also been updated to reflect these changes. Please refer to revised plans.

4. All fencing and gates will be replaced with new.
5. All doors shall be hollow metal. All doors are in CMU walls.
6. Vertical grab bars are required in the two handicapped stalls.
7. Attached is the specification for the tennis court asphalt paving.
8. Foundation dimensions for the netpost and centerstrap footings have been increased. Please refer to revised plans.
9. The Chain Link Fence detail on Sheet C-513 has been revised to show fence footings fully below the asphalt pavement. Please refer to revised plans.
10. Mirrors shall be full length of the counter and 3' high, per the elevation.
11. If plans and/or specs ever conflict, assume the most restrictive and/or expensive option in your bid.

## SECTION 321216 – TENNIS COURT ASPHALT PAVING

### PART 1 - GENERAL

#### 1.1 SUMMARY

##### A. Section Includes:

1. Hot-mix asphalt (HMA) paving for tennis courts.

#### 1.2 REFERENCES

- A. United States Tennis Association (USTA) Facility Guidelines
- B. American Sports Builders Association (ASBA) Tennis Court Construction Manual
- C. ASTM International standards for asphalt material
- D. North Carolina Department of Transportation (NCDOT) Standard Specifications (modified for court construction)

#### 1.3 ACTION SUBMITTALS

##### A. Hot-Mix Asphalt Designs:

1. Certification, by authorities having jurisdiction, of approval of each hot-mix asphalt design proposed for the Work.
2. For each hot-mix asphalt design proposed for the Work.

#### 1.4 QUALITY ASSURANCE

- A. Manufacturer Qualifications: A paving-mix manufacturer registered with and approved by authorities having jurisdiction or the DOT of state in which Project is located.
- B. Testing Agency Qualifications: Qualified in accordance with ASTM D3666 for testing indicated.
- C. Regulatory Requirements: Comply with materials, workmanship, and other applicable requirements of NCDOT for asphalt paving work.

#### 1.5 FIELD CONDITIONS

- A. Environmental Limitations: Do not apply asphalt materials if subgrade is wet or excessively damp, if rain is imminent or expected before time required for adequate cure, or if the following conditions are not met:

1. Prime Coat: Minimum surface temperature of 60 deg F (15.6 deg C).
2. Tack Coat: Minimum surface temperature of 60 deg F (15.6 deg C).
3. Slurry Coat: Comply with weather limitations in ASTM D3910.
  
4. Asphalt Base Course and Binder Course: Minimum surface temperature of 40 deg F (4.4 deg C) and rising at time of placement.
5. Asphalt Surface Course: Minimum surface temperature of 60 deg F (15.6 deg C) at time of placement.

## PART 2 - PRODUCTS

### 2.1 ASPHALT MIX DESIGN

#### A. Surface Course:

1. Type: Fine-graded HMA surface mix
2. Nominal Maximum Aggregate Size (NMAS): 3/8 inches (9.5 mm)
3. Designed to produce a dense, smooth, non-porous surface
4. Asphalt binder: PG 64-22 (or local equivalent)

#### B. Base Course (if applicable):

1. Type: Intermediate/binder course
2. NMAS: 1/2 inches (12.5 mm)
3. Compacted to support uniform surface course

#### C. Mix shall:

1. Be free of segregation, tearing, or surface irregularities
2. Provide a tight, smooth surface suitable for acrylic coatings
3. Be designed for low permeability and minimal voids

### 2.2 APPROVED MIX DESIGN SUBMITTALS

#### A. Contractor shall submit approved asphalt mix designs for both base and surface courses for review prior to installation.

1. Submittals shall include:
  - a. Mix design reports
  - b. Gradation curves
  - c. Binder type and content
  - d. Voids and compaction targets
  - e. Certification from approved plant
  - f. Confirmation mix is suitable for tennis court applications

## PART 3 - EXECUTION

### 3.1 EXAMINATION

- #### A. Verify that subgrade is dry and in suitable condition to begin paving.

- B. Proceed with paving only after unsatisfactory conditions have been corrected.

### 3.2 SUBGRADE PREPARATION

- A. Subgrade shall be compacted to 95% standard Proctor density
- B. Proof-roll and correct any unstable areas
- C. Finish surface shall be smooth and uniform

### 3.3 PRE-PAVING PREPARATION AND COORDINATION

- A. Net Post and Center Strap Footings:
  - 1. Net post and center strap footings shall be installed prior to placement of asphalt pavement surface to maintain the structural integrity and uniformity of the court surface. Installation of footings after asphalt placement is not permitted.

### 3.4 ASPHALT INSTALLATION

- A. Clean Asphalt shall be placed in lifts not exceeding:
  - 1. 2" max per lift (compacted)
- B. Final surface course thickness:
  - 1. 1.5" minimum compacted
- C. Total asphalt thickness:
  - 1. Typically 2.5"-3" minimum (confirm per design)

### 3.5 SURFACE TOLERANCE (CRITICAL FOR USTA)

- A. Surface shall not vary more than:
  - 1. 1/8 inch in 10 feet
- B. No birdbaths, depressions, or standing water permitted
- C. Surface shall be constructed in a single true plane

### 3.6 COMPACTION

- A. Achieve uniform density with no roller marks
- B. Final surface shall be:
  - 1. Smooth
  - 2. Tight
  - 3. Free of roller lines or tearing

3.7 CURING AND PREPARATION FOR SURFACING

- A. Asphalt shall cure for minimum 14-28 days prior to acrylic coating
- B. Surface shall be:
  - 1. Clean
  - 2. Dry
  - 3. Free of oils, debris, and laitance

3.8 WASTE HANDLING

- A. General: Handle asphalt-paving waste in accordance with approved waste management plan required in Section 017419 "Construction Waste Management and Disposal."

END OF SECTION 321216

# FLAHERTY PARK TENNIS COURTS RENOVATION AND RESTROOM UPGRADE CONSTRUCTION PLANS

CASE NUMBER: SP-25-46

## LIST OF UTILITIES AND EMERGENCY CONTACT INFORMATION

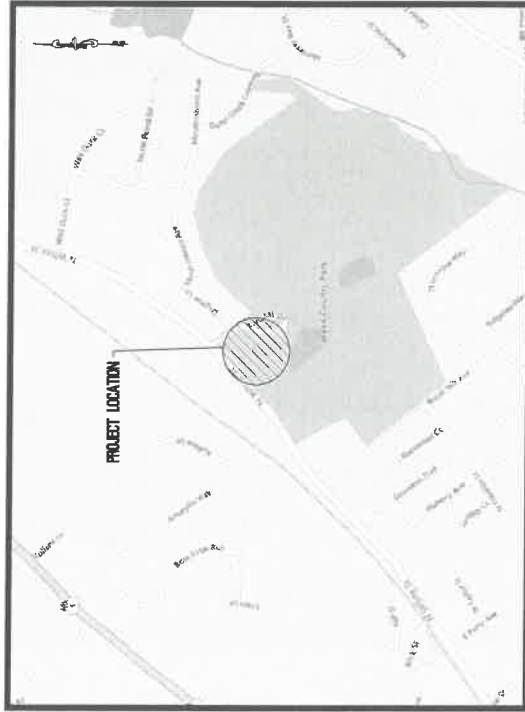
<b>FIRE DEPARTMENT:</b>	WAKE FOREST FIRE DEPARTMENT JULIUS JEFFERSON, POLICE CHIEF 420 ELM AVENUE 919-566-1966
<b>POLICE DEPARTMENT:</b>	WAKE FOREST POLICE DEPARTMENT JULIUS JEFFERSON, POLICE CHIEF 420 ELM AVENUE 919-566-1966
<b>PUBLIC WORKS:</b>	WAKE FOREST PUBLIC WORKS TIM BAILEY, PUBLIC WORKS DIRECTOR 124 HENDRICKSHIP CHAPEL ROAD 919-554-9190
<b>SEWER:</b>	CITY OF RALEIGH WATER ONE EXCHANGE PLAZA RALEIGH, NC 27601 919-995-5246
<b>WATER:</b>	CITY OF RALEIGH WATER ONE EXCHANGE PLAZA RALEIGH, NC 27601 919-995-5246
<b>ELECTRIC:</b>	WAKE FOREST POWER 501 LINDGREN DRIVE RALEIGH, NC 27601 919-455-5672
<b>GAZ:</b>	DOMINION ENERGY NORTH CAROLINA P.O. BOX 10026 COLUMBIA, SC 29202 877-795-6427

<b>PARCEL PIN</b>	1851-08-649
<b>REID</b>	020700
<b>15.08 ACRES</b>	
<b>OPEN SPACE (OS)</b>	
<b>NEUSE</b>	
<b>ZONE X: FIRM MAP # 3720B500L</b>	
<b>SPECIAL FLOOD HAZARD AREA</b>	
<b>SITE USE</b>	PROPOSED: PARK
<b>TOTAL AREA OF LAND DISTURBING ACTIVITIES</b>	2.76 ACRES
<b>EXISTING: 1.38 ACRES</b>	
<b>IMPROVED SURFACE AREA</b>	
<b>EXISTING: 0.12 ACRES</b>	
<b>PROPOSED: 0.83 ACRES</b>	
<b>PERCENTAGE OF GROSS SITE AREA</b>	
<b>PARKS AND OPEN SPACE AREA</b>	
<b>EXISTING: 15.08 ACRES</b>	
<b>PROPOSED: 0.77 SPACES</b>	
<b>PARKING DATA</b>	
<b>NUMBER OF STORMWATER CONTROL MEASURES (SOM)</b>	0
<b>NUMBER OF ADA PARKING SPACES</b>	
<b>PROPOSED: 2 SPACES</b>	
<b>(N/A 1 VAN ACCESSIBLE SPACE)</b>	
<b>PROPOSED RESTROOM BUILDING FLOOR AREA</b>	506 SQUARE FEET
<b>PROPOSED RESTROOM BUILDING HEIGHT</b>	20 FEET (TO TOP OF CHIMNEY)



North Carolina 811  
CALL BEFORE YOU DIG  
811 or 1-800-452-4849  
IT'S THE LAW

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. CALL FOR MARKETS 3 DAYS BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.



PROJECT LOCATION MAP  
1226 NORTH WHITE STREET  
PIN 1854-06-649  
SCALE: 1" = 300'



PROJECT FEMA FLOOD MAP  
FIRM MAP NUMBER: 3720B500L DATED 07/19/2022  
SCALE: 1" = 300'



PROJECT SOILS MAP  
SCALE: 1" = 300'

## TOWN OF WAKE FOREST WAKE COUNTY, NORTH CAROLINA

APRIL 22, 2026

SHEET NO.	SHEET TITLE
C-001	TITLE SHEET
C-010	LEGEND
C-020	GENERAL NOTES
2 OF 2	PLAN OF SURVEY
C-102	SITE DEMOLITION PLAN
C-111	SITE LAYOUT PLAN
C-112	SITE GRADING AND DRAINAGE PLAN
C-113	SITE UTILITY PLAN
C-114	SITE DETAILS
C-115	SITE DETAILS
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ALL PLANS SHALL BE ELECTRONICALLY APPROVED FOR CONSTRUCTION BY THE TOWN OF WAKE FOREST PLANNING DEPARTMENT. THIS APPROVAL MAY NOT BE ALTERED ONCE ISSUED.

ENGINEERING

THESE PLANS HAVE BEEN ELECTRONICALLY APPROVED FOR CONSTRUCTION BY THE TOWN OF WAKE FOREST PLANNING DEPARTMENT. THIS APPROVAL MAY NOT BE ALTERED ONCE ISSUED.

PLANNING

THESE PLANS HAVE BEEN ELECTRONICALLY APPROVED FOR CONSTRUCTION BY THE TOWN OF WAKE FOREST PLANNING DEPARTMENT. THIS APPROVAL MAY NOT BE ALTERED ONCE ISSUED.

REMINGTON & VERNICK ENGINEERS II, LLC  
3210 WILSON ROAD  
DURHAM, NC 27717  
(919) 593-5277  
WEB ADDRESS: RVE.COM  
RVE.com • RemingtonVernick.com

REV. 04-22-2026  
PATRICK HARAMIJA  
REGISTERED PROFESSIONAL ENGINEER NO. 62240

*Patrick Haramija*

DATE: \_\_\_\_\_  
BY: \_\_\_\_\_

TOWN OF WAKE FOREST  
FLAHERTY PARK TENNIS COURTS RENOVATION  
AND RESTROOM UPGRADE CONSTRUCTION PLAN

TITLE SHEET

C-001





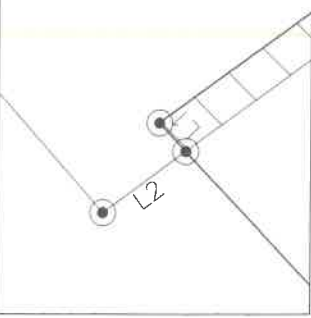
- UTILITY LEGEND**
- Water Meter
  - Sanitary Manhole
  - Fire Hydrant
  - Electric Transformer
  - Gas Valve
  - Light Pole
  - Utility Pole
  - Water Meter
  - Fence
  - Overhead Utilities
  - Cleanout
  - Catch Basin
  - Sign
  - Telephone Vault
  - Approximate Tree

VICINITY MAP - NOT TO SCALE



BOUNDARY DETAIL  
1" = 120'

OVERLAP DETAIL  
1" = 4'



I, GARDNER H. SMITH, CERTIFY THAT THIS MAP WAS PREPARED UNDER MY SUPERVISION FROM AN ACTUAL FIELD SURVEY OF DESCRIPTIONS AS RECORDED IN BM CLEARLY INDICATED AS SUCH AND THAT THE INFORMATION AS REFERENCED HEREIN, AND THAT THE GLOBAL NAVIGATION SATELLITE SYSTEM WAS USED TO CONDUCT THE SURVEY AND THE FOLLOWING INFORMATION WAS USED:

CLASS OF SURVEY, CLASS A  
 POSITIONAL ACCURACY, 0.07'  
 TYPE OF GPS FIELD PROCEDURE, RTK  
 DATE OF SURVEY, 8/2/2025  
 PUBLISHED/UNPUBLISHED CONTROL USE, RTM (VRS)  
 GROUND MODEL, 2018  
 COMPUTED GRID FACTOR, 1.00006432823741  
 UNITS, US SURVEY FEET

I FURTHER CERTIFY THIS IS A SURVEY OF AN EXISTING PROPERTY LINE AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

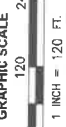
THAT THIS PLAT MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 86.1600) AND THAT THIS PLAT WAS ACCORDANCE WITH G.S. 47-38 AS AMENDED, WITNESS MY HAND AND SEAL THIS 9TH DAY OF DECEMBER, 2025.



Digitally signed  
 by Gardner H. Smith  
 Date: 2025.12.09  
 10:01:10-0500

GARDNER H. SMITH  
 UNLESS SIGNED, SEALED, AND DATED,  
 THIS INSTRUMENT IS VOID AND OF NO EFFECT.  
 RECORDING OFFICE OF RECORDS & DEEDS

SMITH SURVEYING SOLUTIONS, PLLC  
 FIRM NUMBER P-2276  
 3 KAPLAN CT  
 DURHAM, NC 27703  
 PHONE (304) 993-3376



L-5370

- LEGEND OF SYMBOLS**
- MONUMENT FOUND AS NOTED
  - ⊙ CALCULATED POINT
  - 5/8" IRON REBAR TO BE SET
  - R/W RIGHT OF WAY LINE
  - P/L PROPERTY LINE NOT SURVEYED

PARCEL DATA  
 1851066469  
 DEED BOOK / PAGE  
 3597 / 759  
 ZONING  
 OS  
 ADDRESS  
 1226 N WHITE ST, WAKE FOREST, NC

JURISDICTION  
 Wake Forest

EXPLAIN NOTE  
 Plot located in any special Flood hazard area or future conditions Flood hazard 3720085104 shown on File Panel 7/19/2022

SURVEY INFORMATION  
 No underground utilities were located.  
 No USGS monument was found within 2,000' of the site.

GENERAL NOTES

1. ALL DISTANCES ARE BASED UPON NC GRID NAD 83.
2. ALL DISTANCES ARE HORIZONTAL. GRID DISTANCES IN US SURVEY FEET UNLESS OTHERWISE NOTED.
3. SURVEY CONTROL POINTS ARE IDENTIFIED BY THE TITLE REPORT, WHICH MAY REVEAL ADDITIONAL CONVEYANCES, EASEMENTS, RIGHT-OF-WAY OR RESTRICTIONS NOT SHOWN & IS NOT AN ALTA/ACSM LAND SURVEY. TAX MAP RECORDS AND RECORDS OF DEEDS SHOULD BE EXAMINED OR CONSIDERED DURING THIS SURVEY. ALL BUILDINGS, SURFACE AND SUBSURFACE IMPROVEMENTS ON HEREDIN STATEMENT SITE ARE NOT NECESSARILY SHOWN EXISTENCE OF UNDERGROUND CONTAINERS WHICH MAY AFFECT THE USE OF THIS TRACT.
4. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN ARE BASED ON VISIBLE EVIDENCE AND DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREIN, AND ADDITIONAL BURIED UTILITIES MAY EXIST. CONTACT THE APPROPRIATE UTILITY COMPANIES FOR INFORMATION REGARDING BURIED UTILITIES.
5. WHICH MAY BE SUBJECT TO FEDERAL, STATE, LOCAL, RIPARIAN BUFFERS AND OTHER RESTRICTIONS ON DEVELOPMENT MAY BE REQUIRED.
6. THIS IS NOT A BOUNDARY SURVEY.
7. THE PRINCIPLES SHOWN HEREIN ARE APPROXIMATE AND SUBJECT TO ERROR.

CASE NUMBER: SP-25-46

THESE PLANS HAVE BEEN ELECTRONICALLY APPROVED FOR RECORDING BY THE RECORDS & DEEDS DEPARTMENT. THIS APPROVAL MAY NOT BE ALTERED ONCE ISSUED.

ENGINEERING

THESE PLANS HAVE BEEN ELECTRONICALLY APPROVED FOR CONSTRUCTION BY THE RECORDS & DEEDS DEPARTMENT. THIS APPROVAL MAY NOT BE ALTERED ONCE ISSUED.

PLANNING

SHEET ONE OF TWO  
 PLAT OF SURVEY FOR  
 REMINGTON & VERNICK ENGINEERS  
 WAKE FOREST TWPSP.  
 SCALE 1" = 120'  
 AUGUST 6, 2025



**UTILITY LEGEND**

- Water Meter
- Sanitary Manhole
- Fire Hydrant
- Electric Transformer
- Gas Valve
- Light Pole
- Utility Pole
- Water Meter
- Fence
- Overhead Utilities
- Cleanout
- Catch Basin
- Sign
- Telephone Vault
- Approximate Tree

**SITE DETAIL**  
1" = 50'

VICINITY MAP - NOT TO SCALE



**LEGEND OF SYMBOLS**

- MONUMENT FOUND AS NOTED
- CALCULATED POINT
- 5/8" IRON REBAR TO BE SET
- R/W RIGHT OF WAY LINE
- P/L PROPERTY LINE NOT SURVEYED

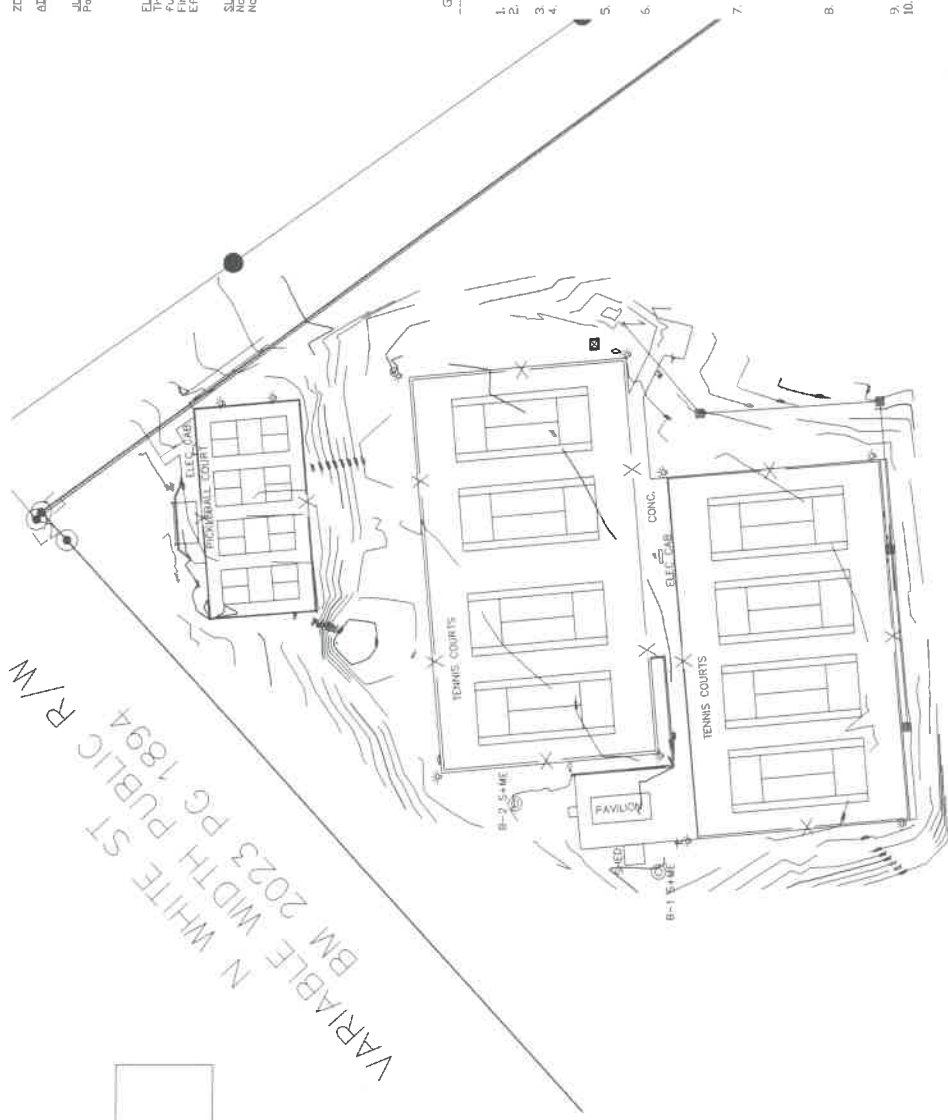
**ASCCEL. DATA**  
FIN: 1851066469  
DEED BOOK / PAGE: 5947 / 758  
ZONING: DS  
ADDRESS: 1226 N WHITE ST, WAKE FOREST, NC  
JURISDICTION: Wake Forest  
Parent Jurisdiction: WAKE FOREST

**FLOODPLAIN NOTE**  
This site is not located in any special flood hazard area or floodway. Flood Hazard Information is shown on Firm Panel 3720B5300 Effective Date: 7/19/2022

**SURVEY INFORMATION**  
No underground utilities were located.  
No USGS monument was found within 2,000' of the site.

**GENERAL NOTES**

1. ALL DISTANCES ARE BASED UPON NC GRID NAD 83.
2. ALL DISTANCES ARE HORIZONTAL GRID DISTANCES IN US SURVEY FEET UNLESS OTHERWISE NOTED.
3. THIS SURVEY IS BASED ON THE COORDINATE GEOMETRY SYSTEM AS COMPUTED BY COORDINATE GEOMETRY ENGINEERING, INC. THIS MAY BE DIFFERENT FROM THE COORDINATE GEOMETRY SYSTEM OF A TITLE REPORT, WHICH MAY REVEAL ADDITIONAL CONVEYANCES, EASEMENTS, RIGHT-OF-WAY OR RESTRICTIONS NOT SHOWN & IS NOT AN ALTA/ACSM LAND SURVEY.
4. ALL PROPERTY OWNERS WERE TAKEN FROM CURRENT COUNTY RECORDS AND RECORDS RECORDED PLATS ONLY AND ARE SUBJECT TO THE ACCURACY AND RECORDS OF SUCH RECORDS.
5. EXAMINED SURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT BUILDINGS, SURFACE AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THE SITE, ARE NOT NECESSARILY SHOWN TO EXIST. THE SURVEY IS BASED ON THE INFORMATION CONCERNING THE EXISTENCE OF UNDERGROUND UTILITIES WHICH MAY AFFECT THE USE OF THIS TRACT.
6. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN ARE BASED ON VISIBLE EVIDENCE AND DRAWINGS PROVIDED TO STRUCTURES, LOCATION OF UNDERGROUND UTILITIES AND ADDITIONAL BURIED UTILITIES MAY EXIST. CONTACT THE APPROPRIATE UTILITY COMPANIES FOR INFORMATION REGARDING BURIED UTILITIES.
7. JURISDICTIONAL WATERS OR OTHER CONDITIONS WETLANDS, JURISDICTIONAL WATERS OR OTHER CONDITIONS RIPARIAN BUFFERS AND OTHER RESTRICTIONS ON DEVELOPMENT MAY BE REQUIRED.
8. THIS IS NOT A BOUNDARY SURVEY.
9. LINES AND DIMENSIONS SHOWN HEREON ARE APPROXIMATE AND SUBJECT TO ERROR.



SMITH SURVEYING SOLUTIONS, PLLC

FIRM NUMBER P-2276

3 KAPLAN CT  
DURHAM, NC 27703  
PHONE (304) 993-3376



SHEET TWO OF TWO  
PLAT OF SURVEY FOR:  
REMINGTON & VERNICK ENGINEERS  
WAKE CO., NC.  
DECEMBER 9, 2025  
SCALE 1" = 50'

I, GARDNER H. SMITH, CERTIFY THAT THIS MAP WAS PREPARED UNDER MY SUPERVISION AND THAT I AM A LICENSED SURVEYOR IN THE STATE OF NORTH CAROLINA. I HAVE PERSONALLY CONDUCTED THE SURVEY AND HAVE BEEN AWARE OF ALL THE INFORMATION AS REFERENCED HEREON AND HAVE PERFORMED THE SURVEY AND THE FOLLOWING INFORMATION WAS USED:

CLASS OF SURVEY: CLASS A  
TYPE OF GPS FIELD PROCEDURE: RTK  
DATE OF SURVEY: 8/2/2025  
INSTRUMENT: LEICA DISTO 2  
COMBINED GRID FACTOR: 1.00006435123741  
UNITS: US SURVEY FEET

I FURTHER CERTIFY THIS IS A SURVEY OF AN EXISTING PARCEL OR PARCELS OF LAND OR ONE OR MORE EXISTING LOTS OR LOTS OF LAND AND THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED, AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A LICENSED SURVEYOR IN THE STATE OF NORTH CAROLINA.

THIS PLAT MEETS THE REQUIREMENTS OF THE SURVEYING ACT OF 2002 AND THAT THIS PLAT WAS NOT PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED, UNLESS BY HAND AND SEAL THIS 9TH DAY OF DECEMBER, 2025.



Digitally signed by Gardner H. Smith  
DN: cn=Gardner H. Smith, o=Smith Surveying Solutions, ou=Smith Surveying Solutions, email=gsmith@smithsurveyingsolutions.com, c=US  
16:59:35 09/07

GARDNER H. SMITH  
LICENSE NO. L-5370  
THIS IS AN INDEPENDENT PLAT, NOT FOR RECORDATION, SALES, OR CONVEYANCES.

CASE NUMBER: SP-25-48

THESE PLANS HAVE BEEN ELECTRONICALLY APPROVED FOR RECORDATION BY THE TOWN OF WAKE FOREST ENGINEERING DEPARTMENT. THIS APPROVAL MAY NOT BE ALTERED ONCE ISSUED.

ENGINEERING

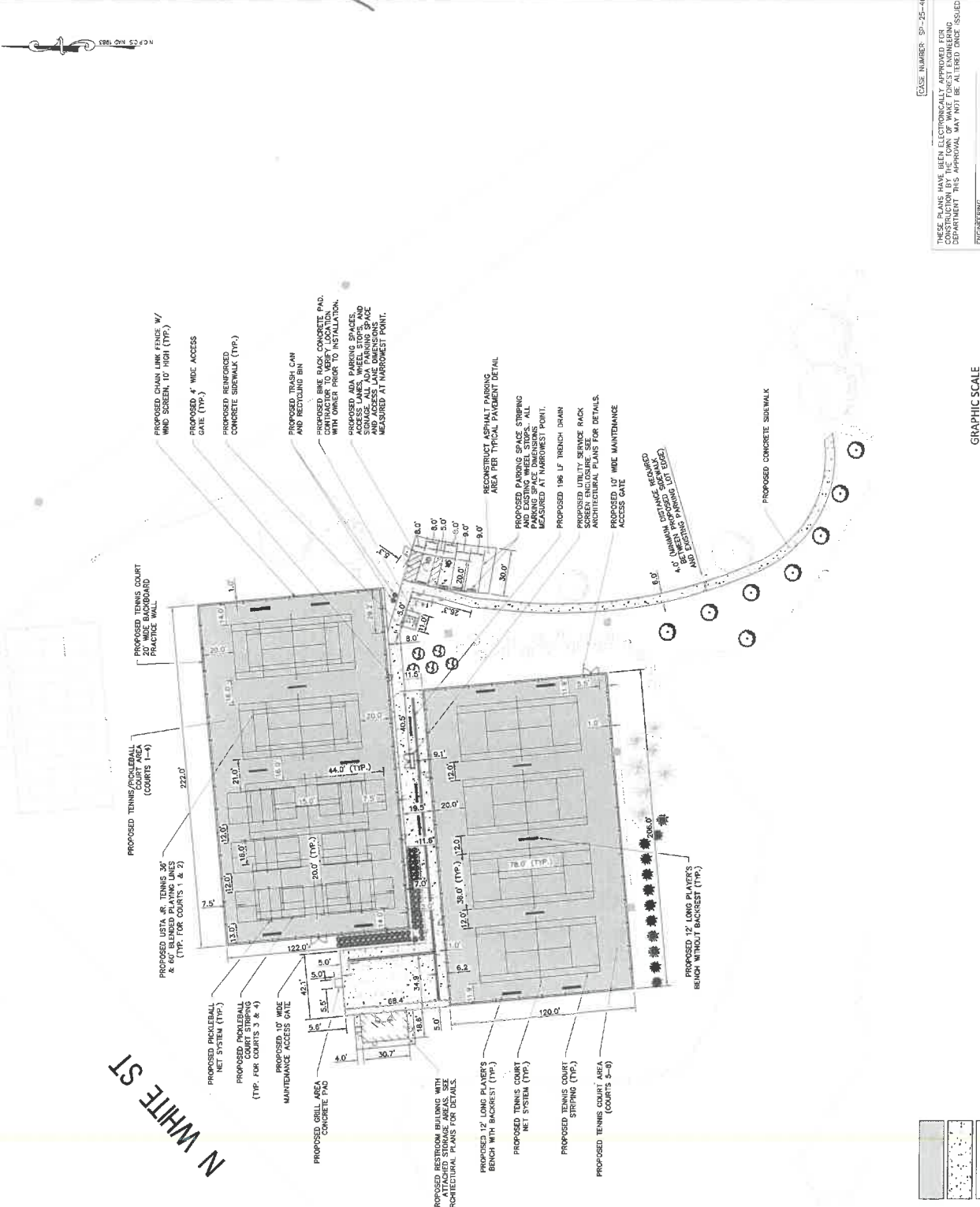
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PLANNING



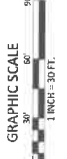
*Patrick Haramlia*

NO.	DATE	REVISION



**PROPOSED SURFACE LEGEND**

- TENNIS/PICKLEBALL COURT - FULL DEPTH CONCRETE
- CONCRETE
- ASPHALT PAVEMENT



CASE NUMBER: SP-25-46

THESE PLANS HAVE BEEN ELECTRONICALLY APPROVED FOR CONSTRUCTION BY THE TOWN OF WAKE FOREST DEPARTMENT. THIS APPROVAL MAY NOT BE ALTERED ONCE ISSUED.

ENGINEERING  
THESE PLANS HAVE BEEN ELECTRONICALLY APPROVED FOR CONSTRUCTION BY THE TOWN OF WAKE FOREST DEPARTMENT. THIS APPROVAL MAY NOT BE ALTERED ONCE ISSUED.

UNLINK

**RVE**  
 REMINGTON  
 & VERNICK  
 ENGINEERS II, LLC  
 3211 SHANNON ROAD, SUITE 405  
 DURHAM, NC 27707  
 (919) 493-5217  
 WWW.RVE-ENGINEERS.COM  
 A Professional Engineering Firm

DATE: 02-22-2025  
 PATRICK HARAMLIA  
 PROFESSIONAL ENGINEER, NO. 65940

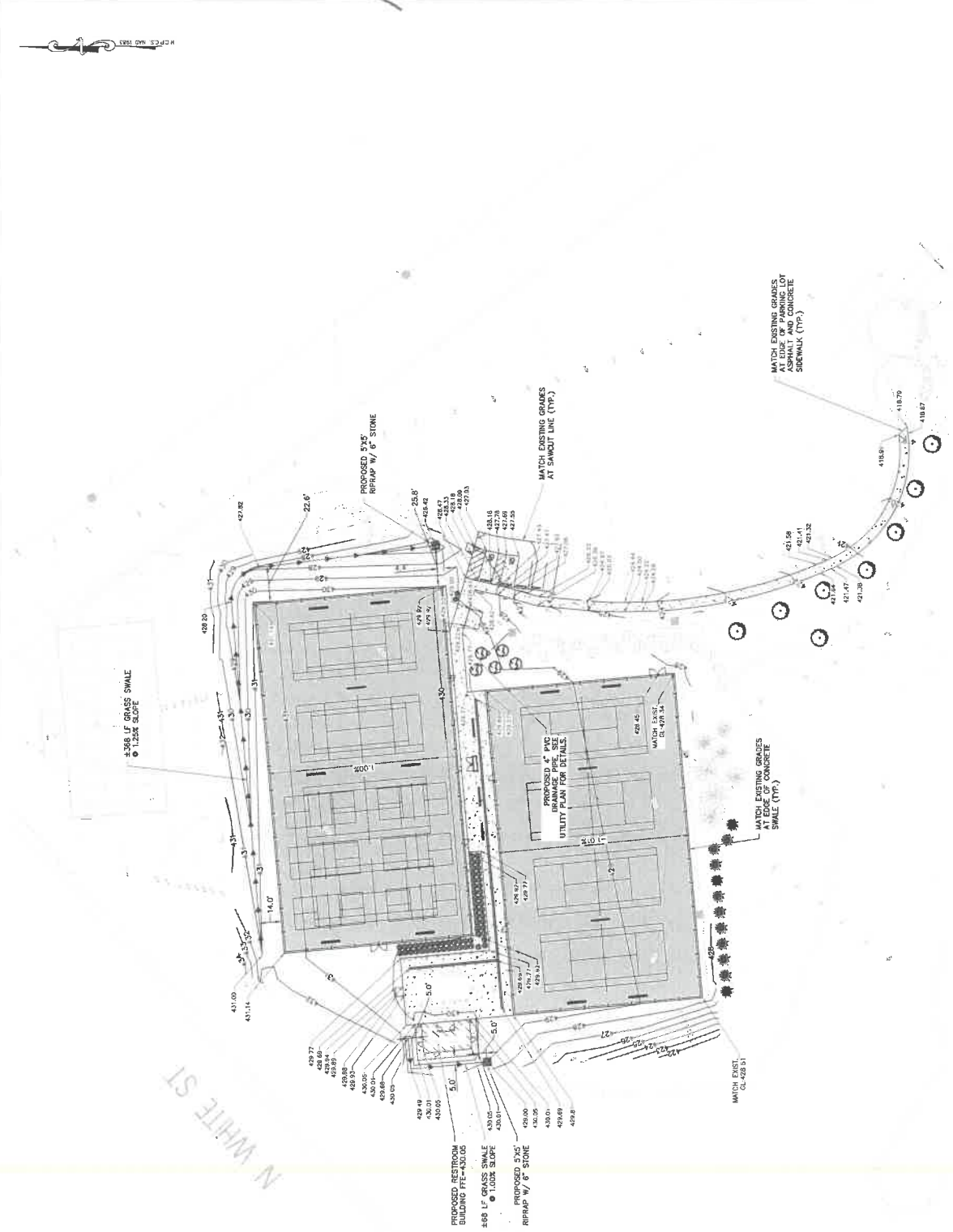
*Patrick Haramlia*

PROJECT: FLAHERTY PARK TENNIS COURTS RENOVATION  
 LOCATION: 1100 N WHITE ST, DURHAM, NC  
 SHEET NO: 01 OF 02

NO.	DATE	REVISION

TOWN OF WAKE FOREST  
 AND RESTROOM UPGRADE CONSTRUCTION PLAN  
 NORTH CAROLINA

C-121  
 SHEET NO. 01 OF 02



CASE NUMBER: 19-25-48  
 THESE PLANS HAVE BEEN ELECTRONICALLY APPROVED FOR CONSTRUCTION BY THE TOWN OF WAKE FOREST ENGINEERING DEPARTMENT. THIS APPROVAL MAY NOT BE ALTERED ONCE ISSUED.  
 ENGINEERING  
 THESE PLANS HAVE BEEN ELECTRONICALLY APPROVED FOR CONSTRUCTION BY THE TOWN OF WAKE FOREST ENGINEERING DEPARTMENT. THIS APPROVAL MAY NOT BE ALTERED ONCE ISSUED.



N WHITE ST









**RVE**  
 REMINGTON  
 & VERNICK  
 ENGINEERS II, LLC  
 371 SHANNON ROAD, SUITE 405  
 DURHAM, NC 27717  
 (919) 493-5277  
 WEB ADDRESS: WWW.RVE-INC.COM  
 E-MAIL: RVE@RVE-INC.COM

Excelsior • Innovation • Integrity

DATE: 07-22-2026  
 DRAWN BY: PATRICK HARAMIA  
 VP-PROFESSIONAL ENGINEER, N.C. REG. NO. 15808

*Patrick Haramia*

PROJECT NO.:  
 SHEET NO.:  
 DATE: 07/22/2026

DATE	BY	DESCRIPTION

FLAHERTY PARK TENNIS COURTS RENOVATION  
 AND RESTROOM UPGRADE CONSTRUCTION PLAN  
 NORTH CAROLINA  
 TOWN OF WAKE FOREST  
 WAKE COUNTY

SCALE: AS SHOWN  
 DATE: 07/22/2026  
 DRAWN BY: PATRICK HARAMIA  
 CHECKED BY: [ ]  
 APPROVED BY: [ ]  
 TITLE: C-514  
 VENDOR: [ ]



TRENCH DETAIL FOR "TYPE K" COPPER PIPE  
 N.T.S.



WATER SERVICE CONNECTION DETAIL  
 N.T.S.



TRENCH DETAIL FOR P.V.C. PIPE  
 N.T.S.



CLEANOUT DETAIL  
 N.T.S.



TYPICAL SWALE OUTPUT RIPRAP APRON DETAIL  
 N.T.S.



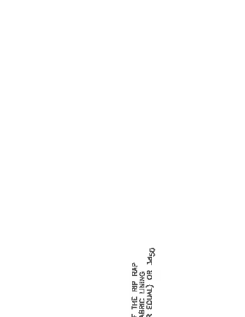
IRON FRAME DETAIL (ADA & HEEL PROOF)  
 N.T.S.



WATER SERVICE CONNECTION DETAIL  
 N.T.S.



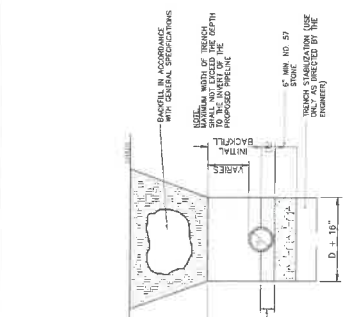
TRENCH DETAIL FOR P.V.C. PIPE  
 N.T.S.



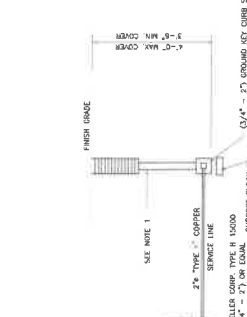
CLEANOUT DETAIL  
 N.T.S.



TYPICAL SWALE OUTPUT RIPRAP APRON DETAIL  
 N.T.S.



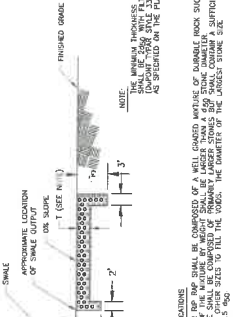
TRENCH DETAIL FOR "TYPE K" COPPER PIPE  
 N.T.S.



WATER SERVICE CONNECTION DETAIL  
 N.T.S.



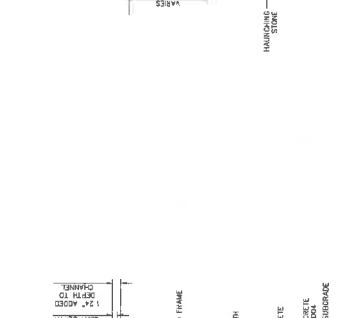
TRENCH DETAIL FOR P.V.C. PIPE  
 N.T.S.



CLEANOUT DETAIL  
 N.T.S.



TYPICAL SWALE OUTPUT RIPRAP APRON DETAIL  
 N.T.S.



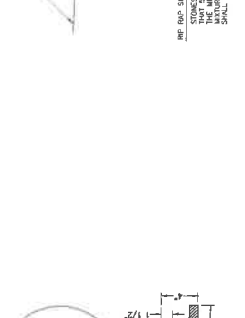
TRENCH DETAIL FOR "TYPE K" COPPER PIPE  
 N.T.S.



WATER SERVICE CONNECTION DETAIL  
 N.T.S.



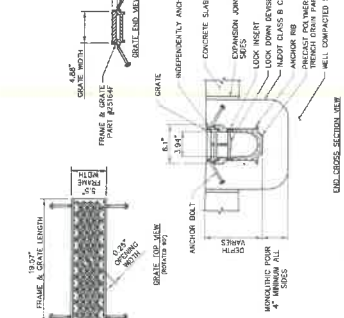
TRENCH DETAIL FOR P.V.C. PIPE  
 N.T.S.



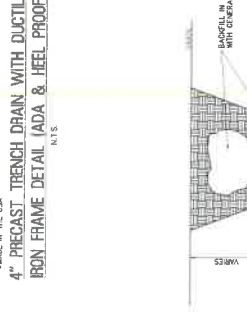
CLEANOUT DETAIL  
 N.T.S.



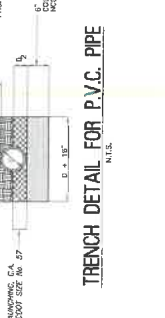
TYPICAL SWALE OUTPUT RIPRAP APRON DETAIL  
 N.T.S.



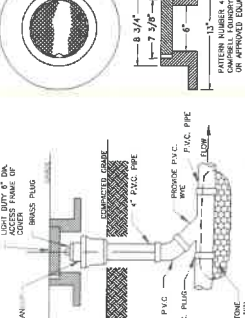
TRENCH DETAIL FOR "TYPE K" COPPER PIPE  
 N.T.S.



WATER SERVICE CONNECTION DETAIL  
 N.T.S.



TRENCH DETAIL FOR P.V.C. PIPE  
 N.T.S.



CLEANOUT DETAIL  
 N.T.S.



TYPICAL SWALE OUTPUT RIPRAP APRON DETAIL  
 N.T.S.



TRENCH DETAIL FOR "TYPE K" COPPER PIPE  
 N.T.S.



WATER SERVICE CONNECTION DETAIL  
 N.T.S.



TRENCH DETAIL FOR P.V.C. PIPE  
 N.T.S.



CLEANOUT DETAIL  
 N.T.S.



TYPICAL SWALE OUTPUT RIPRAP APRON DETAIL  
 N.T.S.

NOTES: THESE PLANS HAVE BEEN ELECTRONICALLY APPROVED FOR CONSTRUCTION BY THE TOWN OF WAKE FOREST DEPARTMENT. THIS APPROVAL MAY NOT BE ALTERED ONCE ISSUED. ENGINEERING THESE PLANS HAVE BEEN ELECTRONICALLY APPROVED FOR CONSTRUCTION BY THE TOWN OF WAKE FOREST DEPARTMENT. THIS APPROVAL MAY NOT BE ALTERED ONCE ISSUED. ENGINEERING



















**REMINGTON & VERNICK ENGINEERS II, LLC**  
 3711 BURNHAM, NC 27717  
 WEA: JAMES W. VERNICK  
 (919) 493-5277  
*Excelsior • Innovator • Servitor*

DATE: 04-22-2024  
 PATRICK HARAMJIA  
 PROFESSIONAL ENGINEER NO. 10399

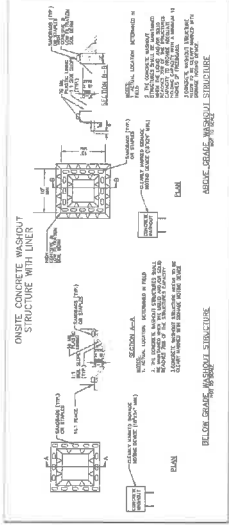
*Patrick Haramjia*

THIS PLAN IS THE PROPERTY OF REMINGTON & VERNICK ENGINEERS II, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS PLAN WITHOUT THE WRITTEN CONSENT OF REMINGTON & VERNICK ENGINEERS II, LLC IS STRICTLY PROHIBITED. ANY SUCH VIOLATION SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO REMINGTON & VERNICK ENGINEERS II, LLC.

DATE	BY

**NCG01 - GROUND STABILIZATION AND MATERIALS HANDLING**  
 TOWN OF WAKE FOREST  
 FLAHERTY PARK TENNIS COURTS RENOVATION  
 AND RESTROOM UPGRADE CONSTRUCTION PLAN  
 WAKE COUNTY  
 NORTH CAROLINA

C-707  
 10/2023



- CONCRETE WASHOUTS**
- Do not discharge concrete or cement slurry from the site.
  - Dispose of or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and in an approved facility.
  - Manage washout from concrete trucks in accordance with the above item and within lot perimeter silt fence.
  - Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact the local authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
  - Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
  - Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlets closest to the washout which could receive spills or overflow.
  - Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
  - Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
  - Remove loadings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
  - At the completion of the concrete work, remove remaining loadings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

- HERBICIDES, PESTICIDES AND RODENTICIDES**
- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
  - Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
  - Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
  - Do not stockpile these materials onsite.

- HAZARDOUS AND TOXIC WASTE**
- Create designated hazardous waste collection areas on-site.
  - Place hazardous waste containers under cover or in secondary containment.
  - Do not store hazardous chemicals, drums or bagged materials directly on the ground.

- EQUIPMENT AND VEHICLE MAINTENANCE**
- Maintain vehicles and equipment to prevent discharge of fluids.
  - Provide drip pans under any stored equipment.
  - Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
  - Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
  - Remove leaking vehicles and construction equipment from service until the problem has been corrected.
  - Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

- LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE**
- Never bury or burn waste. Place litter and debris in approved waste containers. Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic waste.
  - Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
  - Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
  - Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
  - Anchor all lightweight items in waste containers during times of high winds.
  - Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
  - Dispose waste off-site at an approved disposal facility.
  - On business days, clean up and dispose of waste in designated waste containers.

- PAINT AND OTHER LIQUID WASTE**
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
  - Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
  - Contain liquid wastes in a controlled area.
  - Containment must be labeled, sited and placed appropriately for the needs of site.
  - Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

- PORTABLE TOILETS**
- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
  - Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
  - Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

- EARTHEN STOCKPILE MANAGEMENT**
- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
  - Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
  - Provide stable stone access point when feasible.
  - Stabilize stockpile within the timeframe provided on this sheet and in accordance with the permit or any additional requirements. Soil stabilization is defined as vegetative physical stabilization coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

**GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT**  
 Implementing the details and specifications on this plan sheet will result in the construction activity being in compliance with the Ground Stabilization and Materials Handling section of the NCG01 Construction General Permit (Sections F and P, respectively). The permittee shall comply with the permit control plan approved by the delegated authority having jurisdiction. All details specified herein on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

Site Area Description	Required Ground Stabilization Timeframes	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	None	7	None
(b) High Quality Water (HOW) Zones	None	7	None
(c) Slopes steeper than 3:1	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed	7	
(d) Slopes 3:1 to 4:1	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HOW Zones	14	
(e) Areas with slopes flatter than 4:1	-10 days for Falls Lake Watershed -7 days for perimeter dikes, swales, ditches, perimeter slopes and HOW Zones -10 days for Falls Lake Watershed unless there is zero slope	14	

**Note:** After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

- GROUND STABILIZATION SPECIFICATION**  
 Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:
- |   |  |
|---|--|
| <b>Temporary Stabilization:</b> <ul style="list-style-type: none"> <li>Temporary grass seed covered with straw or other mulches and tackifiers</li> <li>Hydroseeding</li> <li>Roller erosion control products with or without temporary grass seed</li> <li>Pre-emptively applied straw or other mulch</li> <li>Plastic sheeting</li> </ul> | <b>Permanent Stabilization:</b> <ul style="list-style-type: none"> <li>Permanent grass seed covered with straw or other mulches and tackifiers</li> <li>Geotextile fabrics such as permanent soil reinforcement matting</li> <li>Hydroseeding</li> <li>Sticks or other permanent plantings covered with mulch, evenly distributed ground cover sufficient to restrain erosion</li> <li>Structural methods such as concrete, asphalt or retaining walls</li> <li>Roller erosion control products with grass seed</li> </ul> |
|---|--|

- POLYACRYLAMIDES (PAMS) AND FLOCCULANTS**
- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
  - Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
  - Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
  - Provide ponding area for containment of treated stormwater before discharging offsite.
  - Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

CASE NUMBER: SP-24-46

THESE PLANS HAVE BEEN ELECTRONICALLY APPROVED FOR CONSTRUCTION BY THE TOWN OF WAKE FOREST PLANNING DEPARTMENT. THIS APPROVAL MAY NOT BE ALTERED ONCE ISSUED.

ENGINEERING  
 THESE PLANS HAVE BEEN ELECTRONICALLY APPROVED FOR CONSTRUCTION BY THE TOWN OF WAKE FOREST PLANNING DEPARTMENT. THIS APPROVAL MAY NOT BE ALTERED ONCE ISSUED.

EFFECTIVE: 04/01/19

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING