



**REGULAR MEETING AGENDA  
WEDNESDAY, JULY 8, 2020  
6:30 PM**

**VIRTUAL MEETING VIA ZOOM <https://zoom.us/j/99434755375>**  
Webinar ID: 994 3475 5375

**Contact Historic Preservation Staff at [mmichael@wakeforestnc.gov](mailto:mmichael@wakeforestnc.gov) or 919-435-9516  
for information or visit the Planning Department Webpage under Meetings and Agendas  
at [www.wakeforestnc.gov/planning](http://www.wakeforestnc.gov/planning)**

**6:30 Regular Business**

1. Call to Order/Roll Call
2. Order of business for virtual meeting – Chairperson/Town Attorney
3. Approval of the Agenda
4. Approval of Minutes of the June 10, 2020 Regular Meeting.
5. Public Comment (limited to 3 minutes per person) Sign-up is encouraged online at <https://www.cognitoforms.com/TownOfWakeForest3/HistoricPreservationCommissionPublicHearingCommentForm> no later than 5:00 pm on July 7, 2020 in order to participate remotely via Zoom virtual meeting. The HPC is interested in hearing your concerns, however, speakers should not expect Commission action or deliberation on subject matter brought up during the Public Comment segment. Topics requiring further investigation will be referred to the appropriate Town Staff and may be scheduled for a future agenda.
6. Treasurer's Report
7. **Public Hearing: COA 20-11:** An Application from Kyle Smalling to modify the rear entrance of his home at 305 N. Main Street being Wake County PIN 1841-53-0163
8. Old Business
  - A. Review of Porch Details 427 N. Main Street condition of COA 20-10
9. New Business and Announcements
  - A. Education Committee Update
  - B. Staff Update
  - C. Other Updates, Business and Announcements
10. Adjourn



# TOWN of WAKE FOREST

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Wake Forest, NC 27587  
919.435.9400

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## HISTORIC PRESERVATION COMMISSION MINUTES

VIA ZOOM

WEDNESDAY, JUNE 10, 2020

6:30 PM

**Commission Members Present:** Ellen Turco (Chair), Andrea Radford (Vice-Chair), Beverly Whisnant, David Bennett, Paige Bivens, Jennifer Smart, Cathy Jamison, Sandy Smart, Commissioner Wall-Lennon (Ex-Officio, BOC).

**Commission Members Absent:** Darina Bender

**Staff Present:** Michelle Michael (HPC Staff Liaison); Sam Slater (Town Attorney's Office), Adam Oates (Information Technology Director)

**Guests:** Erin Hawkins, Mark Hawkins, Mike Young, Ravenscraft, Ann Welton, P. Schlink

**1. CALL TO ORDER/ROLL CALL.** Chairperson Turco called the meeting to order at 6:30 pm and went over some general guidance for the virtual meeting. She started by recognizing Adam Oates with the Information Technology Department for the Town of Wake Forest and Town Attorney, Sam Slater. She asked everyone to identify themselves before they speak and to please speak clearly. Ms. Turco asked staff if anyone signed up to speak at the meeting other than the applicants. Staff stated that is correct, only the applicant has indicated they wish to speak at the meeting. However, staff added that if anyone wishes to speak, they can, they just need to use the raise the hand icon or chat box to let us know they wish to speak. Chairperson Turco continued that all votes will be taken by roll call. Ms. Turco continued by taking the roll and establishing a quorum, Andrea Radford – here, Darina Bender – staff interjected that Ms. Bender will be absent she got called into work, Jennifer Smart – here, Sandy Smart – here, Paige Bivens – here, David Bennett-here, Beverly Whisnant-here, Cathy Jamison – here. Ms. Turco asked staff to confirm the quorum and she did, five members are needed to conduct business and there are eight members present.

Chairperson Turco asked Attorney Slater if he had any information to add. Attorney Slater added that because this is a remote meeting if any board members leave the meeting it needs to be

stated on the record to ensure that a quorum is present for the entire meeting. Staff liaison, Michelle Michael shared her screen so that the agenda could be followed by the group.

**2. AGENDA.** Chairperson Turco asked if there were any changes to the agenda Paige Bivens moved to approve the agenda. Andrea Radford seconded the motion. There was no discussion. Chair Turco called each member present and the motion passed unanimously (7-0).

**3. MINUTES** Chairperson Turco asked if there were any changes to the May 13, 2020, minutes as submitted. Andrea Radford moved to approve the minutes as submitted, Cathy Jamison seconded. There was no discussion. Chairperson Turco called each member present, the motion passed unanimously (7-0).

**4. PUBLIC COMMENT (limited to 3 minutes per person)** Chairperson Turco asked if there was anyone who wished to make public comments and asked them to use the “raise hand” icon or chat box. There were no public comments.

**6. TREASURERS REPORT.** Staff read through the Treasurer’s Report as submitted by the Finance Department. The beginning balance on March 1 which should be May 1, 2020 was \$39,935.60 with interest earned in the amount of \$ 23.80. An ending balance as of May 29, 2020 is \$39,959.40 including \$1,011 to be used for the Ailey Young House. Chairperson Turco asked if there is a motion to approve the Treasurer’s Report, Sandy Smart moved to approve the Treasurer’s Report, Andrea Radford seconded the motion. Chairperson Turco asked for discussion, there was none, she read the roll and the motion passed unanimously (7-0).

**7. PUBLIC HEARING: COA 20-10 A request from Erin and Mark Hawkins to build a house at 427 N. Main Street, the former Cullom House site.**

Chairperson Turco opened the public hearing and asked if any members of the Historic Preservation Commission have a conflict of interest. There were no members with a conflict of interest. Chairperson Turco explained the procedure, the staff liaison will present the project first, then anyone who wants to speak in favor of the project and then anyone against the project. Everyone who wishes to speak must be sworn. She asked Attorney Slater to swear in staff. Attorney Slater asked to add a few things I regard to the virtual/remote format of the meeting. He continued that under the remote meetings policy, he asked if everyone with standing consents to holding the meeting in this way (virtually/remote)? He followed up by asking if anyone opposes the COA going forward in this meeting to use the “raise hand” icon, chat box or if able unmute and let your desire to speak be known. Attorney Slater paused for a few moments. No one offered to speak or show that they object to the public hearing. Attorney Slater swore in staff liaison, Michelle Michael, Senior Planner (Historic Preservation).

Staff Liaison, Michelle Michael introduced the project as COA 20-10, an application by Erin and Mark Hawkins to construct a new house at 427 N. Main Street, the former Cullom House site. She showed an aerial of the location of the house and showed the application. She followed by showing

the application and materials including representation of the front door, the foundation brick, shingle for the primary roof, the standing seam metal roof for the porch roof, and stated the applicant is proposing to use hardiplank or equivalent which is allowed for new construction under the Design Guidelines. Staff then showed the plans and stated the elevation is based on an American Foursquare model with a neoclassical style porch. There will be a rear ell that projects to the south for a screened porch. Staff explained that the left elevation is the south elevation facing the home to the south at 421 N. Main Street. The north side elevation faces Juniper Avenue. The plans show the main block closest to Main Street and then stepping down into a one-story wing for the garage towards the rear of the property. Staff showed the floorplan and explained that the floorplan only for reference as the Commission does not regulate the interior. The site plan was shown by staff. Staff pointed out that the setback is like that of 421 N. Main Street and is consistent with the setback on the street. Staff also showed the site plan for the previous Cullom House project for context to show that the setbacks are similar. The applicant also submitted the aerial with the floorplan of the house for visual as to where the house will be on the streetscape and in comparison, to other properties on the street. Staff then showed the applicant's inspiration photo to provide an overall concept of the completed project. Staff pointed out that the fenestration on the sides is a little bit different than illustrated on the photo and that the architect's drawings should be referenced for exact details . Staff also showed streetscape views from the north, south, and east to provide overall context for the site and the house. Ms. Michael asked attorney Slater to accept the application, staff report and all substantiating information in the record.

For the purposes of analysis of this project staff believes the following standards and guidelines have relevance beginning with the Secretary of Interior's Standards for Rehabilitation.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings shall not be undertaken. *Staff Analysis: The proposed new construction will be composed of new building materials including cementitious fiber board siding and new windows that will provide distinction between this and the historic homes. The proposed house and porch designs are not common forms in the Local Historic District, therefore providing additional differentiation from the historic architecture of the district.*

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment. *Staff Analysis: The historic Cullom House was destroyed by fire in 2015 and cleared from the lot. Therefore, no historic materials will be destroyed that characterize the property. The new house is designed to be compatible with the surrounding historic district environment in relationship to massing, size, scale, and architectural features.*

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired. *Staff Analysis: If the proposed house were removed in the future, the essential form and integrity of the surrounding historic district would be unimpaired.*

The staff liaison continued her analysis referencing the Wake Forest Historic District Design Guidelines for New Construction.

1) Identify, retain, and preserve historic features that contribute to the historic character of the historic district and streetscape including but not limited to building height, scale, massing, proportion, fenestration patterns, setback, orientation, space between buildings, lot coverage, and roof shape and slope of surrounding buildings. *Staff Analysis: The proposed project has considered the building height, scale, massing, proportion, fenestration patterns, setback, orientation, space between buildings, lot coverage, and roof shape and slope of surrounding buildings. While the fenestration patterns on the side elevations are in keeping with the pattern on the surround buildings, the use of shutters on only one window on the north elevation and two windows on the south elevation is unusual. This is also true for the windows on the south elevation that are shuttered. There may be a practical reason which will assist the Commission in determining appropriateness. Staff would like additional information regarding the proposed height of the new house in comparison to the house at 421 N. Main Street to ensure compatibility with the height of surrounding buildings within the historic district.*

2) It is appropriate for new construction projects to be compatible with the height, scale, massing, proportion, fenestration patterns, lot coverage, setback, and roof shape of surrounding historic buildings within the historic district. It is also appropriate to implement the principles of size, scale, rhythm, shape and form when planning new construction project. *Staff Analysis: The proposed project has designed the new house to be compatible with the height, scale, massing, proportion, lot coverage, setback, and roof shape of surrounding historic buildings within the historic district. While the fenestration patterns on the side elevations are in keeping with the fenestration patterns on the surrounding buildings, the use of shutters on two windows on the north elevation and one window on the south elevation is unusual. Most buildings have shutters on all the windows or no shutters. There may be a practical reason for this which will assist the Commission in determining the appropriateness. Staff would like additional information regarding the proposed height of the new house in comparison to the house at 421 N. Main Street to ensure compatibility with the height of surrounding buildings within the historic district.*

*The design has implemented the principles of size, scale, rhythm, shape, and form when planning their project.*

3) It is appropriate for the historic buildings in the district to maintain site prominence and priority on the streetscape in the historic district. *Staff Analysis: The new house has been sited so that the*

*setback is similar to the former Cullom House and the lot coverage is also similar in order for the historic houses surrounding this lot on N. Main Street to maintain site prominence.*

4) It is appropriate to maintain appropriate setback when planning new construction projects:

a. Setbacks shall be uniform and establish a feeling of order and cohesiveness within the block and streetscape. *Staff Analysis: The proposed house is designed to be setback at approximately the same location as the Cullom house was setback thereby maintaining a feeling of order and cohesiveness within the block and streetscape.*

b. New buildings shall be setback behind neighboring historic buildings. Porches are included when considering setback. Zoning requirements will also apply to setbacks. *Staff Analysis: The proposed new house and porch is not setback behind neighboring historic buildings. The house and porch are sited to maintain a similar setback as the former Cullom House was historically. The zoning ordinance requires a 20-foot minimum front setback, 20-foot minimum side (secondary front) setback on Juniper Avenue, 8-foot minimum side adjacent setback, and 25-foot minimum rear setback per the Unified Development Ordinance for the. The proposed house is within the required setbacks.*

c. Side yards shall be consistent in size to side yards of neighboring buildings. *Staff Analysis: The side yard is consistent with side yards of neighboring buildings.*

5) It is appropriate to implement the principles of orientation when planning new construction projects:

a. New structures shall face the same direction as existing structures. *Staff Analysis: The proposed house is sited to face N. Main Street consistent with other building's on N. Main Street.*

b. The primary entrance shall face the primary street. For commercial buildings with rear parking a front entrance is still required. *Staff Analysis: The proposed primary entrance is planned to face the primary street, N. Main Street.*

6) It is appropriate to use materials on new construction that were traditionally found in the historic district, including but not limited to wood, brick, stone, stucco, and rusticated concrete block. *Staff Analysis: The proposed design is using wood details and a brick foundation.*

a. Smooth-faced cementitious siding installed in a traditional manner with similar exposure and size to emulate horizontal wood siding is also appropriate for new construction projects. *Staff Analysis: The design proposes using smooth-faced cementitious siding installed in a traditional manner with similar exposure and size to emulate horizontal wood siding.*

b. It is inappropriate for new construction projects within historic districts to utilize synthetic siding and details including but not limited to vinyl, PVC, and aluminum. *Staff Analysis: The*

*design is not proposing to utilize synthetic materials and details including but not limited to vinyl, PVC, and aluminum.*

7) It is inappropriate to site or locate new construction projects that necessitate the relocation or demolition of historic buildings or outbuildings. **Staff Analysis:** *Construction of the new house at 427 N. Main will not necessitate the relocation or demolition of historic buildings or outbuildings.*

Checklist for New Construction in the Historic Districts

- Is the building footprint set back behind the adjacent structures in the historic district?  
**Staff Analysis:** *It is not set back behind adjacent structures but is at approximately the same setback as the (former) Cullom House.*
- Is the building orientation consistent with the historic structures?  
**Staff Analysis:** *Yes.*
- Is the lot coverage of the new building consistent with adjacent structures in the historic district?  
**Staff Analysis:** *Yes.*
- Is the fenestration on the front and visible sides in keeping with adjacent properties in the district to maintain the rhythm of the streetscape?  
**Staff Analysis:** *Yes, with exception of the shuttered windows.*
- Is the porch height and location in keeping with adjacent properties?  
**Staff Analysis:** *The porch height and location are in keeping with adjacent properties.*

*Staff offered the following findings for the Commission's consideration*

1. Based upon the information contained in the application, specifications, and staff report, the Commission finds that the project meets/does not meet the Secretary of Interior Standards for Rehabilitation
2. Based upon the information contained in the application, specifications, and staff report, the Commission finds that the project is appropriate/is not appropriate in regard to the Wake Forest Historic District Design Guidelines, in that it is or is not compatible with the special character of the historic landmark.

*Staff offered the following conditions for the Commission's consideration given that this is a new construction project.*

1. *A Building Permit from the Town of Wake Forest is required.*
2. *Any changes to the proposed project require review and approval by staff.*

- 3. Any changes in impervious surface will require review and approval by staff.*
- 4. Coordination with the City of Raleigh Utilities and the Department of Transportation is the responsibility of the applicant.*
- 5. A future application for fencing will require COA-Major Work and public hearing with the Historic Preservation Commission.*
- 6. The house is being constructed in an existing neighborhood. Construction shall be limited to Monday – Friday between 7:00 am and 8:00 pm and Saturday-Sunday between 8:00 am and 6:00 pm in accordance with the noise ordinance. Construction lights shall not shine in windows of neighboring properties.*

Staff asked if there were any questions. There were none. Chairperson Turco asked if the applicant, the Hawkins' wished to speak in support of the application. Mark and Erin Hawkins stated that they would as well as their builder Mike Young and architect, Jeff Spivey. All four raised their right hands and were sworn in by attorney Slater. Mark Hawkins thanked the HPC for having the virtual meeting so they can move forward. Staff Liaison, Michelle Michael asked if there were any slides they wanted to talk about specifically. Mr. Spivey stated that he would start with the shutters. He stated that the reason they didn't put shutters on all the windows was because historically the shutters would have covered the entire window and there are double windows on the front of the house that just didn't work with shutters. The point of the shutters on the side elevations is to fill a blank wall. There is no window in those spaces and the shutters are placed there to fill the gap so that it looks more balanced. In today's home the bedrooms need more wall space and that is why they added the shutters.

Chairperson Turco thanked the applicants and informed them that the Commission will take the opportunity to ask questions regarding the application. Chairperson Turco stated that she would start as she wants to be sure she understands about the shutters. Her understanding is that if the shutters are removed, there is no window underneath, just a blank wall. Mr. Spivey agreed and stated that was correct. Chairperson Turco asked where the photograph of the house they used as their concept was from. Mr. Hawkins responded that it is in Seattle. Chairperson Turco asked staff to pull the slides of the elevations back up to start conversation.

Cathy Jamison stated that she had questions about soffits and hipped roofs. Ms. Jamison asked the architect if the soffits will be enclosed, he responded that they would. Ms. Jamison stated that she liked the hipped roof and asked staff how many other hipped roofs are in the historic district. Staff responded that there are a few, the Queen Anne-style houses have primary hipped roofs with gabled wings, the Ford's House has a hipped roof, the Autry's, and Lisa Roberson's House have hipped roofs. Chairperson Turco asked if the question regarding the height in comparison to the

neighboring house had been answered. Mr. Spivey answered the new house height is right at 34 feet. Mr. Hawkins added that the Cullom House was approximately 34 feet and the neighbor's house is approximately 32 or 33 feet. Ms. Jamison asked about the porch railing on the second floor of the porch, she noticed there are no doors leading out to it so is it just aesthetic? Also, she couldn't find the height of the railing and would like to know what that is, and lastly, it looks different than the railing on the first floor is that correct? Mr. Spivey stated that originally the concept did have a door but the Hawkins decided they did not want access so there is none. The second-floor railing is just aesthetic and is not required by any code. Mr. Spivey continued by saying the difference is the shorter posts which he calls pedestals are on the second floor but not the first. He stated that it is important to note that the porch does have a curve to it and the second-floor balustrade adds to the design to make that a focus. The height may be tinkered with a bit as they refine the design. The pedestals are currently around 32" tall and the railing is only about 24" or two-feet tall.

Chairperson Turco asked about the code requirements for the first-floor porch railing. If it can be lowered a little since they typically are in the historic district. Mr. Spivey stated that North Carolina Building Code only requires a railing if the porch floor is 30 inches or more. Technically no rail is needed here. Ms. Turco asked what height is currently specified? Mr. Spivey responded that the height will be decided by the proper proportion because that is what is important. He added that it may be decided by the picket they choose for the balustrade. They haven't decided the railing detailing. Ms. Turco added that the porch is the most detailed part of the house and she would like to see more detailed drawings with measurements so they know what the porch will look like when constructed. She continued that historically it would have been lower than the 36" standard and if they can keep it lower it would be nice. Mr. Hawkins stated that they also liked the idea of it being lower. Ms. Turco continued by asking if the pickets will be square, round, or turned? Mr. Hawkins stated that they had not selected the pickets yet. Chairperson Turco asked if there were any more questions. Cathy Jamison stated that she would like to know what the shutters will be made of? Mr. Young stated they would be cedar, cypress, or wood composite. Paige Bivens asked about the material for the garage doors. Staff stated that the applicant can confirm but the submittal included wood doors that will be stained to match the front door. Chairperson Turco asked if there are any other questions, there being none, she closed the public hearing.

Ms. Turco offered that the setback and massing are ideal for the lot within the context of the historic district, but she is not comfortable with the level of detail on the porch at this point. Regarding the shutters she agrees with the architect that maintaining the symmetry is important on those elevations. Her issue is that these are they are the only shutters on the house. Ms. Turco also suggested they may want to condition the garage doors on staff approval. The porch may also be ok for staff approval. She concluded that she does think it substantially meets the guidelines. Ms. Jamison added that she wants to make sure the design is in keeping with the character of the district. The modern lights on the side don't seem to fit with the design and she would like to see

those in keeping with the style of the lights on the front and the character of the house. Chairperson Turco noted that staff conditioned the lighting to be approved by staff. Ms. Turco asked the group if they were comfortable with the findings of fact and if they were ready to decide if those had been met.

Sandy Smart offered that condition 2 requires that any proposed changes will require additional review and approval by staff. He asked if that would cover the details on the porch, garage doors, and lighting. Attorney Slater if staff approval of conditions can only be implemented when there is not a level of discretion or subjectivity. Mr. Slater continued that if the Commission can get the basic requirements spelled out (height, shape, etc.) then staff can approve it but if not, it should come back to the HPC.

David Bennett stated that he agreed, a little more detail is needed for the porch. He continued that regarding the shutters he is in support of the pattern and treatment to achieve accurate fenestration patterns with appropriate materials. He is also in favor of more detail about the height of the porch. Jennifer Smart asked if staff could provide information on the shutters and the guidelines. Attorney Slater interjected that staff's information is contained in the staff report. Staff added that as stated in the staff report the shutters are an attempt to solve the issue of no windows in that part of the house. Staff added that it is the HPC's decision to determine if the shutters meet the Design Guidelines and are in keeping with the character of the district. Chairperson Turco stated that the Guidelines do specifically talk about fenestration patterns and the appearance in the streetscape. She continued that the shutters achieve the fenestration pattern while the option of a blank wall does not meet the guidelines in her opinion. Andrea Radford added that she agreed. Cathy Jamison stated that she also agreed.

Chairperson Turco asked Attorney Slater what the procedure would be if they wanted the porch to come back under a separate COA. Attorney Slater stated that it could come back to the HPC as a condition of the approval. Staff asked Attorney Slater if we could discuss the timeline with the applicant and offer the option to hold it over until next month when the porch details can be presented. Beverly Whisnant asked if they could add the porch approval to the conditions. Staff interjected that she agrees with Attorney Slater's interpretation that staff cannot make subjective decision on acceptable porch design. Staff pointed out there have been more than one opinion presented as to what is acceptable and staff is not comfortable making that decision. Chairperson Turco asked the applicant about their timeline. Mr. Hawkins stated that they do want to get started with the Building Permit process. He asked about what level of detail is the HPC asking. Architect Spivey added that the column height on the porch is 9'-3", the small pedestals on the upper porch is 30". The pedestals are square while the columns are round. Mike Young added that they could provide the shape of the balusters and dimensions quickly and that it could line up with the permitting process. Jennifer Smart asked if they can approve the project with the condition that the porch details must come back for review. Attorney Slater stated that what he is hearing is that the

COA can be carried over for a month while the details are worked out for final approval. Mr. Hawkins stated that his concern is that they need to have the COA to submit the plans for permitting. Chairperson Turco asked Ms. Michael if the permit can run concurrently or if the COA must be approved first. Staff stated that they can run concurrently but that Inspections prefers the HPC approval first so that there are no major changes that complicate or require additional review. Staff informed the group that there will be a meeting on July 8<sup>th</sup>. She asked Attorney Slater to correct her if she is wrong but offered another option to approve everything with the condition that the porch design comes back to the HPC for final approval in July. Attorney Slater stated that it could be conditioned in that way. Staff asked the architect if that was feasible for him to get that back to the group and he said he could. Chairperson Turco asked the group how they want to proceed.

Andrea Radford moved that the Application for COA 20-10 substantially meets the Secretary of Interiors Standards for Rehabilitation and the Wake Forest Historic District Design Guidelines and is compatible with the Special Character of the historic property and district with the conditions listed in the staff report in addition to the requirement that the porch details come back to the HPC next month. Paige Bivens seconded the motion. Chairperson Turco asked if there was any discussion, hearing none she called the roll for the vote. The motion passed unanimously (7-0).

Andrea Radford moved to approve and grant COA 20-10 to Erin and Mark Hawkins with the conditions listed in the staff report and the additional requirement that the porch details will come back to the HPC in July. David Bennett seconded the motion. Chairperson Turco asked for discussion hearing none she asked for a roll call vote. The motion carried unanimously (7-0) and the COA was granted. Staff added that the final COA would be issued by the end of the week and thanked the applicants.

## 8. Old Business

**A. Budget.** Staff showed a slide with the FY 2019-20 budget and actual expenses for the members review. Staff reviewed the budgeted amounts and the expenses, and the amount left over. Staff estimates that the end of the FY balance will be approximately 29,410.40. It was a miracle, Sandy approved Michelle's math!

Staff then showed a proposed budget for FY 20-21. She made the changes that they discussed last month and offered and estimates that they will have \$10,450 in expenditures with a total estimated ending balance of \$18,960.40 for next year. Sandy Smart asked about the cost of the signs, staff responded that the signs were included in the Planning Budget. Paige Bivens asked about the cost for the Ailey Young windows. Staff responded that the grant from the State of North Carolina was used for the windows. Staff asked if the HPC wanted to adopt this budget with the understanding that if there are any changes, staff will bring it to them for approval. Beverly Whisnant moved to accept the budget as proposed, Paige Bivens seconded. Chairperson Turco asked for any discussion, there being none she conducted a roll call vote.

The motion passed (6-0), Cathy Jamison was no longer part of the meeting when the vote was taken.

## **9. New Business and Announcements**

- A. Education Committee-** Andrea Radford provided that the education committee met and discussed having a blog post after Halloween through December to celebrate the home tour and discuss a house from each decade in the historic district. She added that she has been working on coloring book pages showcasing the historic houses. Paige Bivens added that they are also working on a treasure hunt focused on 4<sup>th</sup> grade curriculum. Chairperson Turco thanked the group for their good work.
- B. Staff Update.** Staff reminded the group that there will be two planning efforts that require participation. The Northeast Community Plan Update and the Comprehensive Plan. These two efforts will start in the next couple of months and will take between 12 and 18 months to complete. They will shape the next 10-20 years, she encouraged the group to attend, provide input, review the plans and comment.
- C. Other Business and Announcements.** Staff reminded the group that about a year ago the Mill Village residents had come to the HPC and asked for help to preserve the Mill Village. We held a public meeting last June. Staff has been researching options for the Mill Village and is planning a public information meeting soon. There will be one COA public hearing in July and in August, we hope to hold a meeting on the 160D Statute changes.

Sandy Smart moved to adjourn, David Bennett seconded and passed unanimously (6-0) without discussion by a roll call vote. The meeting adjourned at 8:24 PM.

Respectfully submitted,

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Ellen Turco, Chairperson

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Michelle Michael, Secretary

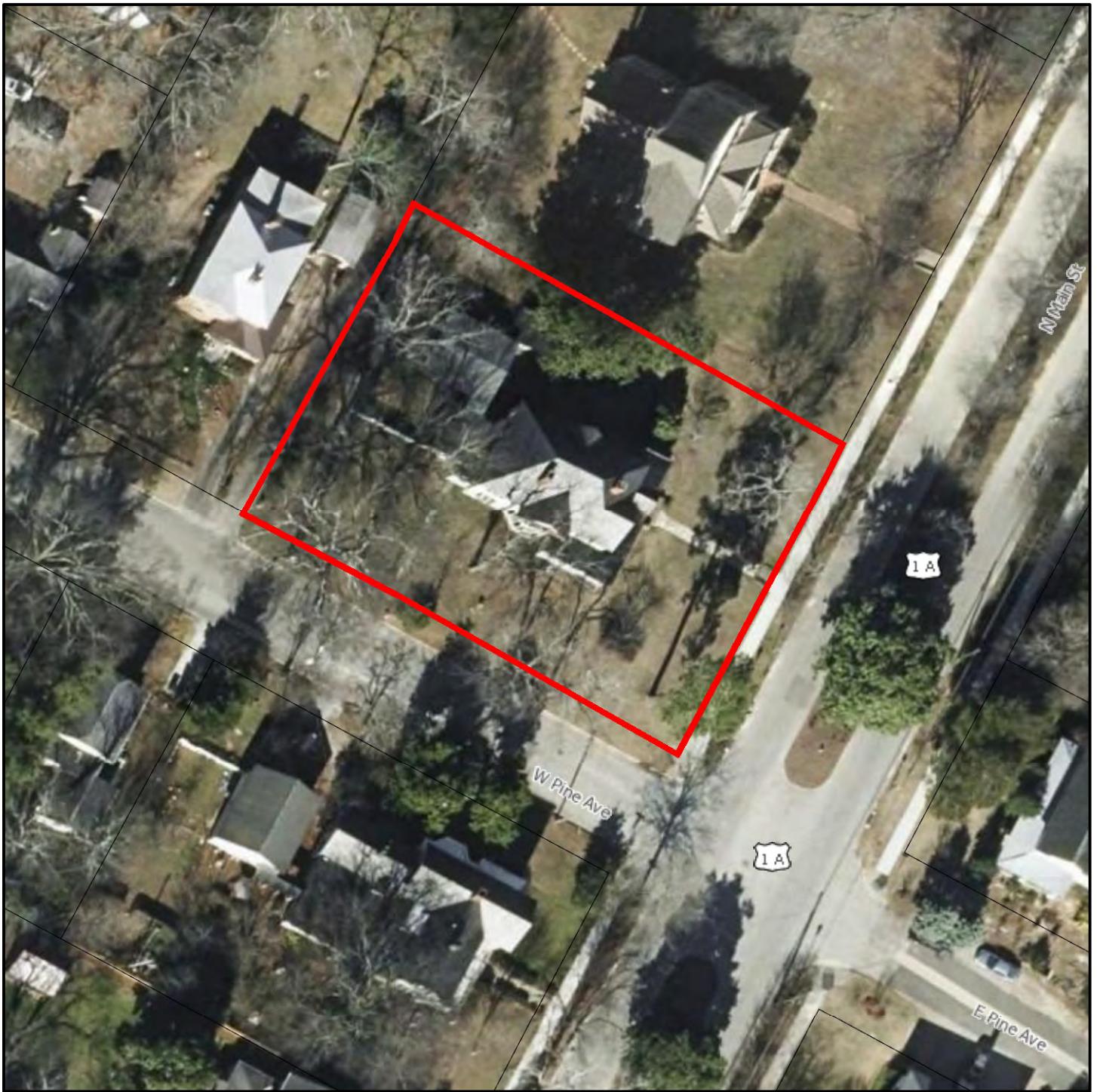


Certificate of Appropriateness (COA)

20-11

A request from Kyle Smalling to  
modify the rear entrance of his home at 305 N. Main Street  
Wake County PIN 1841-53-0163

The electrical portion of this application will be reviewed  
administratively under a Minor Work COA



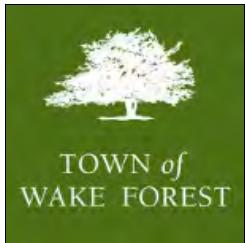
**305 N. Main St., PIN 1841530163**



0      25      50      100 ft  
1 inch = 50 feet

***Disclaimer***

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## Certificate of Appropriateness

Major Work

Town of Wake Forest, NC

301 S. Brooks St.

Wake Forest, NC 27587-2932

TEL (919) 435-9510 | FAX (919) 435-9539

### Project Overview

#399191

**Project Title:** 305 N Main Rear Entrance Modifications

**Jurisdiction:** Town of Wake Forest (Wake County)

**Application Type:** Certificate of Appropriateness

**State:** NC

**Workflow:** Major Work

**County:** Wake

### GENERAL INFORMATION

#### Project Contact - Property Owner

Kyle Smalling

305 N Main Street  
Wake Forest, NC 27587  
P:8287739401  
[kasmalling@gmail.com](mailto:kasmalling@gmail.com)

#### Project Contact - Applicant

Kyle Smalling

305 N Main Street  
Wake Forest, NC 27587  
P:8287739401  
[kasmalling@gmail.com](mailto:kasmalling@gmail.com)

### PROJECT INFORMATION

**Project Address:** 305 N MAIN STREET, WAKE FOREST, NC 27587

**Tax PIN:** 1841-53-0163

**Current Zoning:** GR3, General Residential 3

**Land Use Type (General):** Residential

**Description of Work:** Modifications to rear entrance of home and electrical into house. See attached for full description (and note parallel electrical permit submitted on May 31).

## Certificate of Appropriateness – Major Work

### Summary of Work:

1. To the western elevation of the home (within the screened-in enclosure):
  - a. The location of the rear entrance door of the home and the existing west-facing window (within the screen-in enclosure) will be swapped.
  - b. The window opening (after swap, where door previously was located) will be increased.
2. To the western elevation of the home:
  - a. A replica of the existing circular window on the northern elevation of the home will be installed.
3. See Addendum B for Modifications to Electrical. **If possible, approval of this portion as a minor work is desirable.** Staff will review under Minor Work Administrative Approval. M. Michael

### Alignment with Rehabilitation Standards:

305 N Main Street from Wake Forest Historical Museum Archives



1. The historic (residential) use of the property shall be maintained and fostered by allowing for more effective use of the rear "Sitting" (formerly "Kitchen") room of the home through the addition of new light sources. This residential use is also furthered by the substantial improvement in overall safety that arises through the transition of the existing overhead power line to an underground option, through replacement of aging electrical line to panel, and installation of a new, more accessible panel in the home.
2. Modifications are undertaken with the goal of restoring the original elevations of the home (i.e. its original historic character) to the extent feasible, as follows:

- a. The “swap” of the rear door will result in the door being located in what is perceived to be a location more similar to its original location based on existing concrete footers and its proximity to the main hallway entrance and will allow better visibility and use of the original hallway door.
  - b. The modification to a larger window in the previous location of the door will allow in additional light.
  - c. The addition of the circle window replicating the original one on the northern face of the home will allow this more distinctive feature to be visible to the public (as the existing window is tucked behind an enclosed section of the original wrap-around porch) and allow in additional light.
  - d. Long term, the addition of these two light sources will allow for removal of the a-historical skylight over the “Sitting” room and restoration of the old upper deck without creating a room that is too dark functionally.
  - e. The burying of the power cable will remove the existing unsightly connection point on the second floor of the home and remove the last portion overhead cabling affixed to the home (all lines will now be buried).
3. Except for the window modifications, all changes represent a more authentic return to the original condition and historic character of the home. The window modifications, on balance, foster the continued historic use of the home and will, in the long term, allow more faithful restoration of other historic characteristics (i.e. the upper deck).

Closer Image of Rear Addition and Upper Deck



4. It is unclear when the kitchen portion was converted to its current form. It is unclear, given the lack of fidelity this addition has to the original character of the home, whether this section of the house has obtained its own historical significance.
5. No distinctive materials, features, finishes, and construction techniques will be modified. The existing distinctive hallway entrance door and transom will be revitalized and put back into use as a result of the modification.
6. It is not anticipated that Standards 6 through 10 will be implicated by this work.

**Alignment with Future Goals:**

1. The changes to the door location will allow for re-opening of the original hallway entrance.
2. The changes to electrical service and window modification/addition will allow for restoration of the upper deck and removal of the skylight.
3. The changes generally will facilitate renovation of the kitchen.

**Detailed Description of Work:**

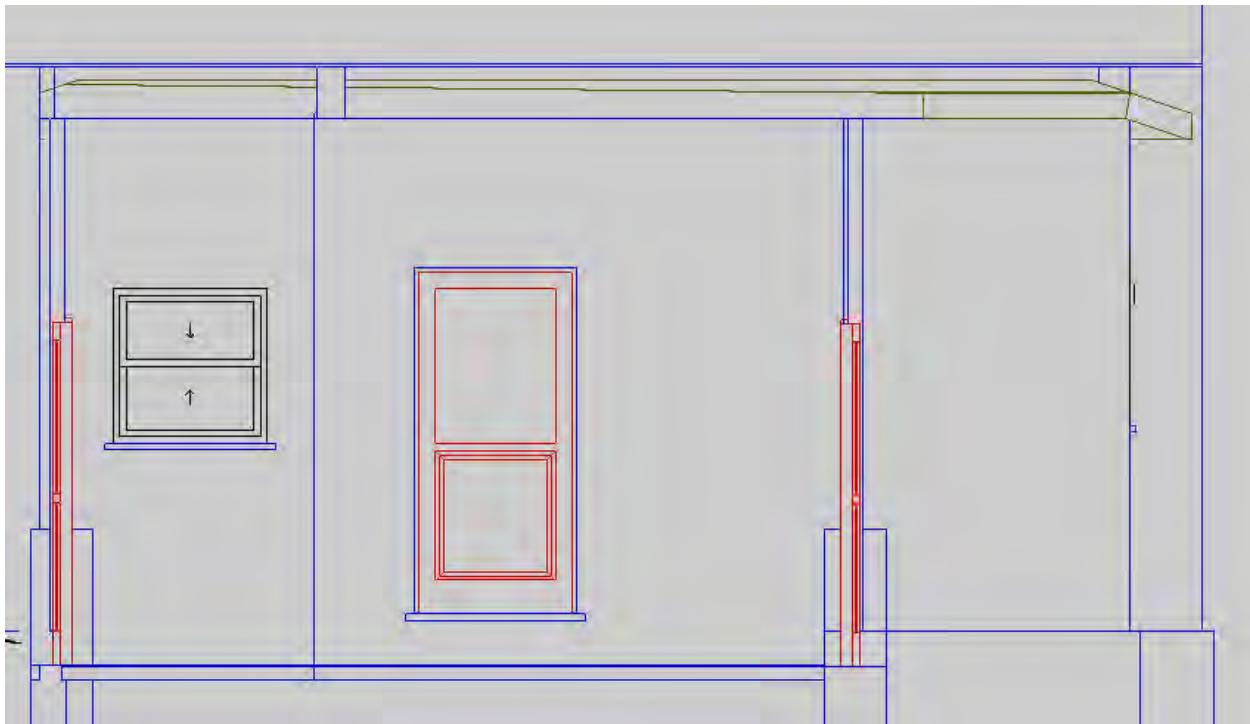
NOTE: *Rough* renderings of the changes are shown in Addendum A. Electrical work is covered in Addendum B and not addressed here.

The three changes referenced in the Summary of Work are shown on the image below.

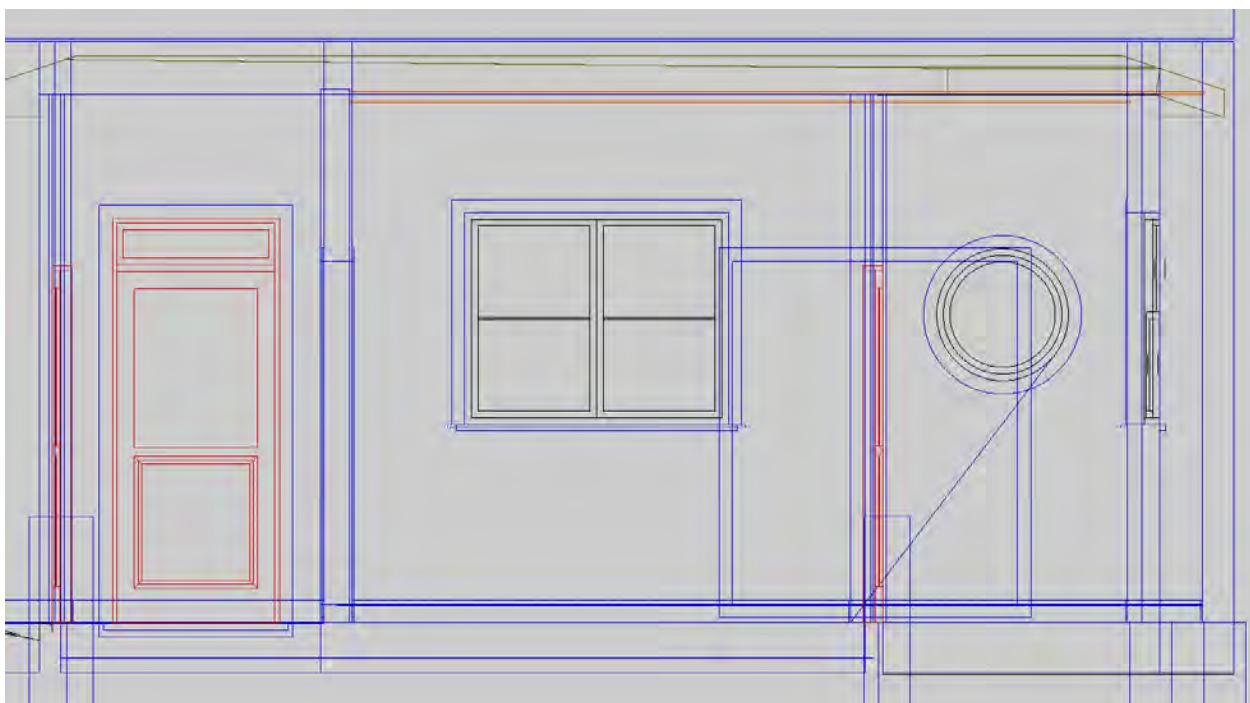
Proposed Modifications to Western Entrance (Rough Rendering)



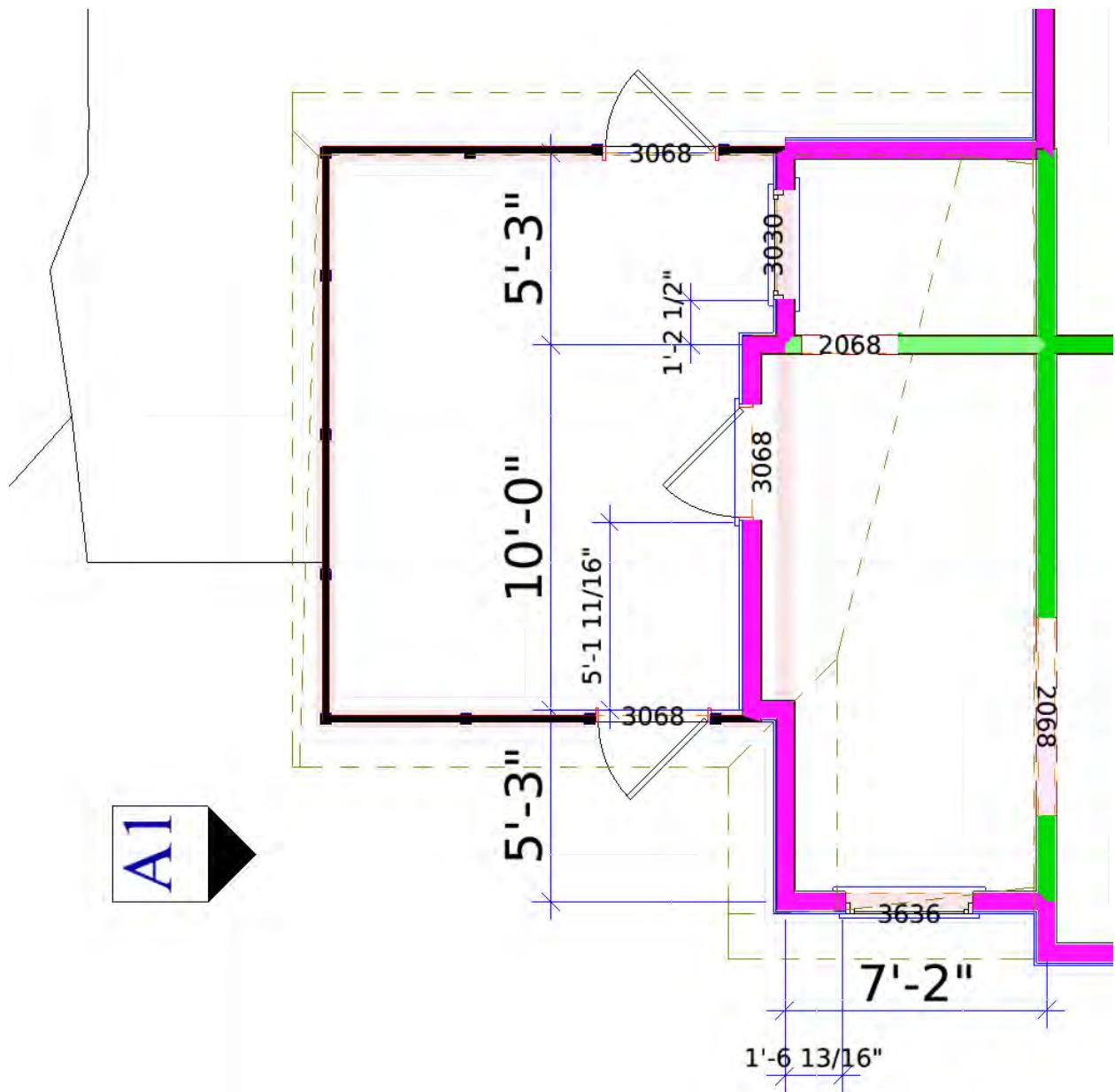
Elevation Before



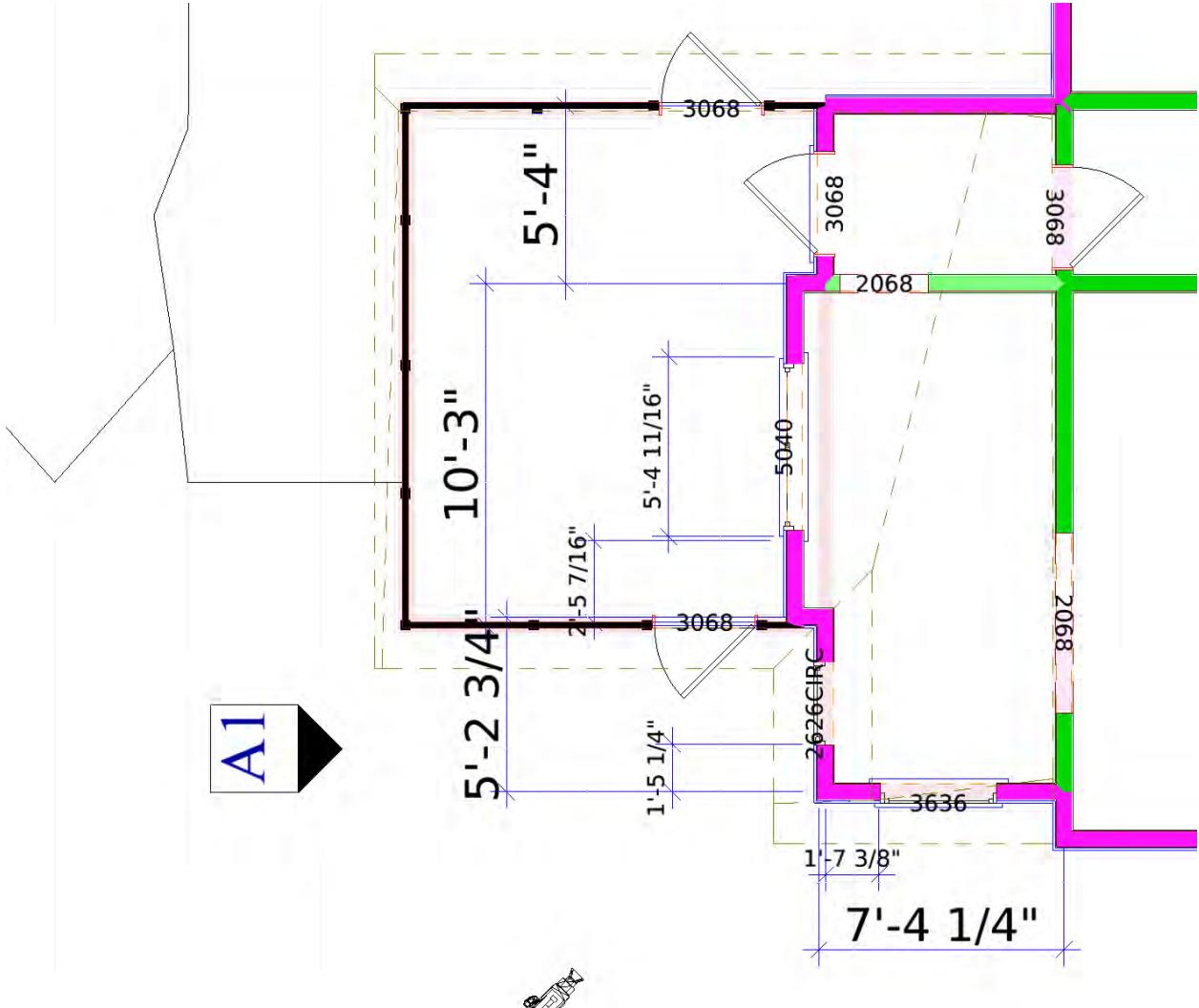
Elevation After



Floor Plan Before



Floor Plan After



There will be no changes to the southern elevation of the home (i.e. Pine Street).

Southern Elevation Before



Southern Elevation After



#### **Modification 1(a) – Relocation of Rear Entrance Door**

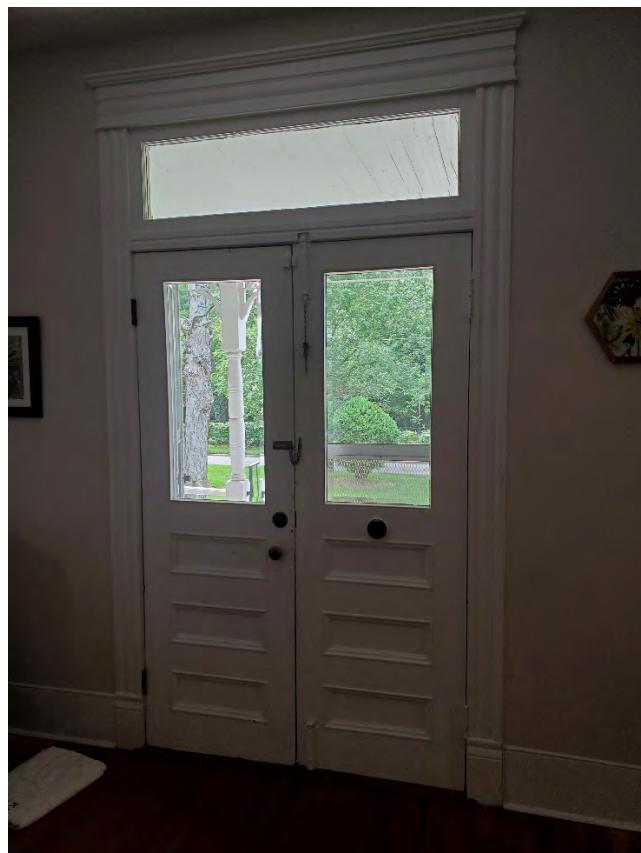
A new 32x68" door will be installed in the location of the existing window with an additional 10-inch transom to match the front door. This door will be centered in the wall section.

The door will be set approximately four inches lower than the existing door (approximately 4 inches above the exterior concrete pad) to match the main floor height throughout the first floor of the home.<sup>1</sup>

Stylistically, this door will match as closely as possible the front door with a single upper pane over three solid panels. Adjustments will be made for a single door swing and to modify the width to 32".

**NOTE: This modification will be entirely within the screened in porch area on the rear of the home, reducing visibility.**

Front Door for Comparison



<sup>1</sup> The existing kitchen area is set approximately 2-4 inches higher than the remainder of the first floor.

### **Modification 1(b) – Replacement of Prior Door Opening with Window**

Where the door was previously, a **50"x36"** **window** side-by-side double-hung will be installed, centered horizontally on the wall.

This window will match the height and elevation of the existing small window on the southern wall of the home in the same room and match the existing style of that same window.

**NOTE: This modification will be entirely within the screened in porch area on the rear of the home, reducing visibility.**

Existing Double-Hung Window



### **Modification 2(a) – Installation of Circle Window**

A 26" circular window will be installed matching as closely as possible the existing circular window on the northern face of the home (now obscured by the enclosure of the northern end of the porch).

It will be set horizontally 30" from the southern corner of the wall face and its vertical mid-line will be set to align with the vertical mid-line of the other windows in the same room.

Existing Circle Window



## ADDENDUM A – ARTISTIC RENDERINGS

**Image A-1: Interior of Screen Porch Facing North-East**

*Not Shown: Brick Steps Beneath Door*

Before



After



**Image A-2: Interior of Screen Porch Facing South-East**

*Not Shown: Brick Steps Beneath Door*

**Before**



**After**



**Image A-3: Exterior Facing North-East**

**Before**



**After**



Additional Photographs for COA 20-11 305 N. Main Street



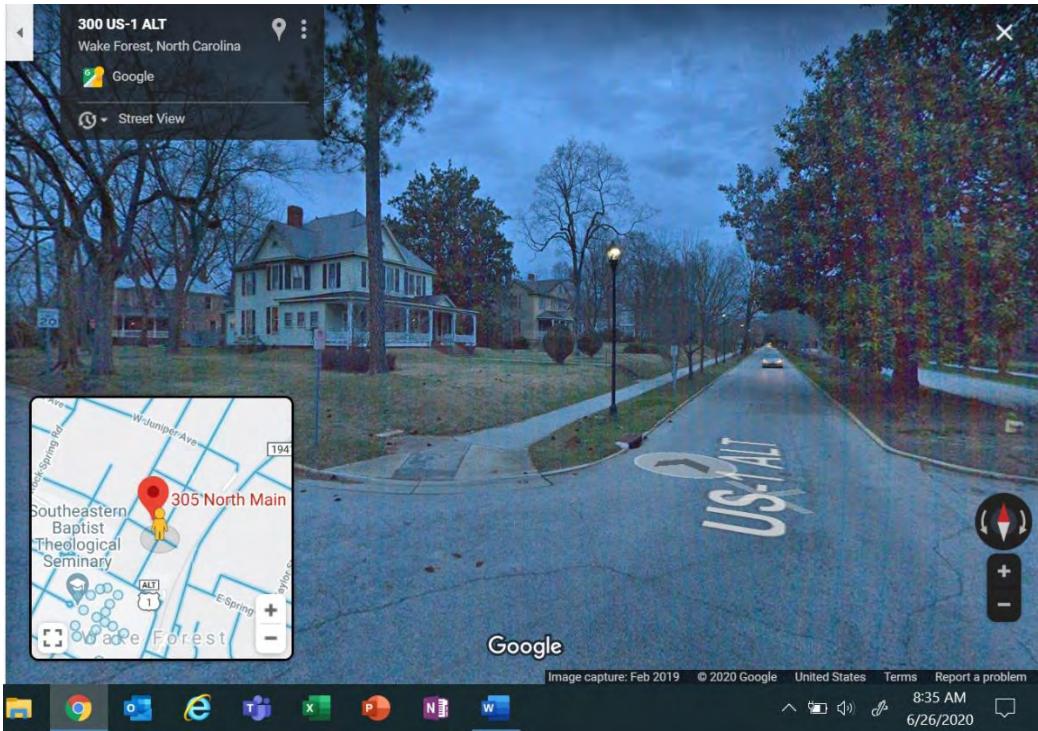
View of the rear elevation through the screened porch. The applicant is proposing to replace the window with a door and replace the door with a pair of 1/1 windows.



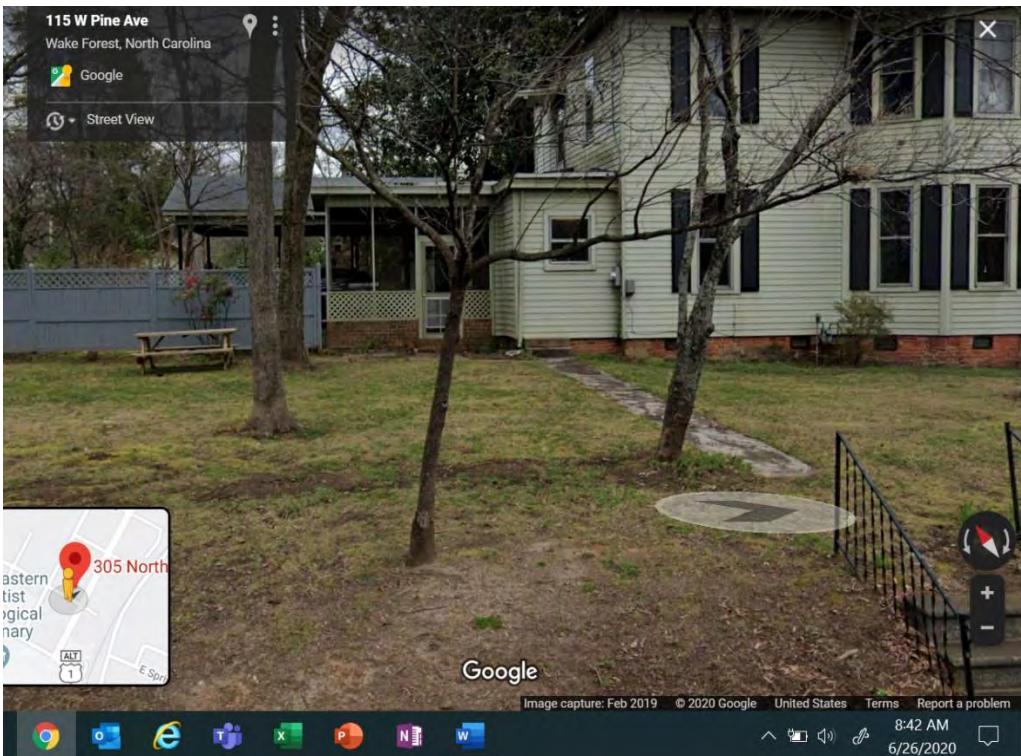
Proposed window type  
for new window (either  
wood or composite)

New door will match the  
existing upstairs door  
shown to the right.

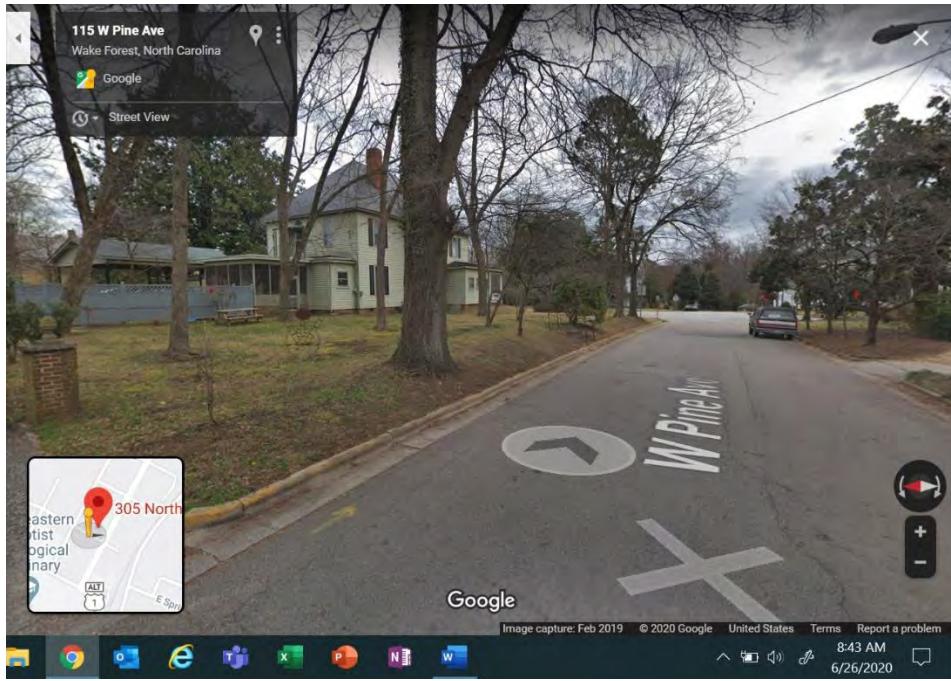




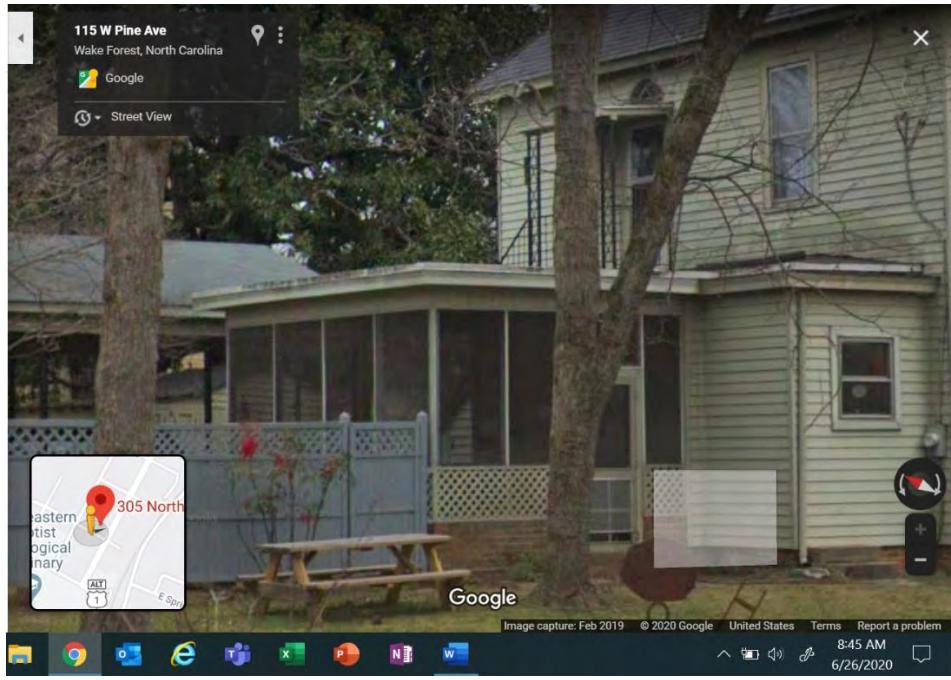
Oblique view of 305 N. Main Street showing the southeast corner of the house facing N. Main Street and W. Pine Ave.



South side view of 305 N. Main Street showing the rear entrance area visible from W. Pine Avenue.



Oblique View of the southwest corner of the house from W. Pine Avenue above and detail below.



# Wake Forest Local Historic District

## Certificate of Appropriateness (COA) Application

### Staff Report

**To:** Wake Forest Historic Preservation Commission  
**Date:** June 29, 2020  
**Case:** COA-20-11  
**Prepared By:** Michelle Michael

#### **General Information**

**Applicant/Property Owner:** Kyle Smalling  
305 N. Main Street  
Wake Forest, NC 27587

**Requested Action:** Modify the Rear Entrance

**Tax PIN:** 1841-53-0163  
**Location:** 305 N. Main Street  
**Lot Size:** .47 acres +/-  
**Current Zoning:** GR3

**Property Description:** The property is located at the northwest corner of W. Pine Avenue and N. Main Street.

#### **Special Information (from the Wake Forest Historic District Walking Tour Brochure)**

**History and Significance:** The Gorrell House, circa 1905-1910. Joseph Hendren Gorrell and his wife, Fannie Taylor Gorrell built this restrained, two-story, frame, Queen Anne-style house between 1905 and 1910. They had the house built on land given to them by Fannie's father, Wake Forest College President, Charles E. Taylor. Gorrell was a language professor at the college. Architectural features include the wraparound porch with turned posts and sawnwork brackets, a simple railing, and a gable over the entrance bay, a double front door with transom and a two-story, cutaway bay window on the south elevation. The house remained in the original family until 2017 when the Smalling's purchased it.

**COA 20-11 Proposed Exterior Changes:** The applicant is proposing to modify the rear entrance on the west elevation of the home at 305 N. Main Street. The project proposes to remove the northern most window and install a door (inside the screened porch), remove the existing door and install a double window (inside the screen porch), and lastly install a round window on the west elevation outside of the screen porch enclosure. It is not known when the rear entrance and porch was modified to its current configuration.

For the purposes of analysis of this project staff believes the following standards and guidelines have relevance:

### The Secretary of Interiors Standards for Rehabilitation

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings shall not be undertaken. *The proposed project is modifying the rear entrance within the screened porch. This entrance has been modified previously. The proposal includes adding a round window to the west elevation which is visible from W. Pine Ave., it is representative of a similar window in the stair hall of this house and not from another historic building. Further, it will be a new window resembling the original rather than the original being moved or removed.*

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

*Staff Analysis: The proposed project is modifying a section that has been previously modified. They are later changes. The proposed new door location is in keeping with the interior hallway entrance and may be the location of the original rear door.*

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

*Staff Analysis: If the proposed project were removed in the future it would not alter the essential form and integrity of the historic property.*

### Wake Forest Local Historic District Design Guidelines

#### Exterior Entrances and Porches

1. Identify, retain, and preserve character-defining architectural elements and details of entrances, porches, porte cochères, and balconies including but not limited to form, configuration, roofs, cornices, piers, lattice, flooring, porch supports, columns, capitals, plinths, ceilings, rails, balusters, steps, brackets, and other decorative trim work.

*Staff Analysis: In looking at the project staff has determined that these elements are not character defining to this property, they are later modifications on the rear elevation.*

9. It is inappropriate to introduce new exterior entrances, porches, and details. Replication of missing entrances and porches shall be based on documentary or physical evidence. *Staff Analysis: The proposed new door location is in keeping with the interior hallway entrance and may be the location of the original rear door.*

## **Windows and Doors**

1. Identify, retain, and preserve historic window and door openings, materials, features and details including but not limited to, sash, trim, glass, panels, configuration, muntins, mullions, dimensions, size, stained glass, lintels, sills, thresholds, shutters, and hardware.

*Staff Analysis: The window and door on the rear elevation are the result of a later modification. The proposed new door location lines up with the hallway door and may be the original location. The proposed new door will match the existing upstairs exterior door and front door configuration. The proposed new window will be a double or paired 1/1 window but will be a pair rather than single window.*

6. It is inappropriate to install new window or door openings on the front or side elevations of the building. When necessary use existing openings on side or rear elevations: replace a window with a door, or remove a door and install a window, and match details to the existing.

*Staff Analysis: The project is proposed for the rear elevation and is replacing a window with a door and a door with a paired window. The round window which will be true divided light is also proposed for installation on the rear elevation.*

## **Windows**

10. New windows shall have true-divided light muntins. It is inappropriate to install new windows that have false window muntins, window grills, or snap-in muntins, or grills in historic buildings.

*Staff Analysis: The paired or double window will be a 1/1 configuration to match all the existing windows in the home. The circular window will have true divided-light muntins like the existing circular window.*

## **Proposed Findings of Facts**

*Staff offers the following findings for the Commission's consideration*

1. Based upon the information contained in the application, specifications, and staff report, the Commission finds that the rear entrance modifications do/do not meet the Secretary of Interior Standards for Rehabilitation.
2. Based upon the information contained in the application, specifications, and staff report, the Commission finds that the rear entrance modifications do/do not substantially meet the Wake Forest Historic District Design Guidelines.

## **Proposed Conditions**

*Staff offers the following findings for the Commission's consideration*

1. A Building Permit from the Town of Wake Forest is required.
2. Any changes to the proposed project require review and approval by staff