

STAFF REPORT

To: Design Review Board
Date: October 8, 2020
Case: Architectural Design Review (Major) Case No: AR-20-19 Kiddie Academy
Prepared By: Patrick Reidy, Senior Planner

GENERAL INFORMATION

Applicant: Phillips Architecture
Jessica Swanson
1110 Navaho Drive, Suite 600
Raleigh, NC 27609
919-878-1660
jswanson@phillipsarch.com

Owner: Gateway Forest, LLC
C/O John Fire Jr.
PO Box 31827
Raleigh, NC 27622

Architect: Phillips Architecture
Jessica Swanson
1110 Navaho Drive, Suite 600
Raleigh, NC 27609
919-878-1660
jswanson@phillipsarch.com

Requested Action: Review and approval of the Architectural Design Review (Major) application for Kiddie Academy

Tax PIN #: 1850-07-3702

Location: 945 Gateway Commons Circle

Size: 1.37 acres +/-

Existing Land Use: Vacant

Existing Zoning: Conditional Use Neighborhood Business (CU-NB); RZ-03-08

Building Data:
Name: Kiddie Academy
Building Type: Educational/Institutional (Child/Adult Day Care Center (More than 8 persons))

Number of Buildings: 1
Total Square Footage: 10,333
Building Height: 1 Story – 29’

BUILDING DESIGN STANDARDS

Per 15.8.5 (A) of the Wake Forest Unified Development Ordinance, the Major Architectural Design Review Process shall apply to all districts except RA-HC: Non-residential development or expansion 10,000 square feet or greater in gross floor area. The proposed project will construct one commercial building along Gateway Commons Circle, which also backs up to Jones Dairy Road. The proposed building type is a child care center (more than 8 persons) and will be finished with brick veneer, stone veneer, masonry veneer and EIFS. Commercial Buildings are subject to the specific standards set forth in Section 5.7 of the Unified Development Ordinance.

Standards for Design Review

A. 5.7 Commercial Buildings in Rural and Suburban Districts

5.7.2 Façade Materials

A. Materials: Commercial building walls visible from a public street or civic space shall be primarily brick, stacked stone, stone or stone masonry units, wood clapboard, cementitious fiber board, exposed heavy timber, or architectural concrete masonry units (CMU). Glass curtain walls may be approved subject to Design Review to ensure the styling and details are appropriate for the context. Exterior insulation finishing systems (EIFS) may be used on facades not facing a public street or civic space or as a secondary building material only (less than 25% of the wall area on primary frontage facades. Under no circumstances shall unfinished concrete block be permitted.

Staff Analysis: The proposed building’s facade is clad in a combination of brick veneer, stone veneer, masonry veneer, and EIFS, which meets the UDO regarding materials.

B. Balance of Wall Materials: When 2 or more materials are used on a façade, the heavier material shall be placed below the lighter material (e.g. siding over brick) to get the sense of support and grounding.

Staff Analysis: The proposed building uses stone and a precast stone sill at the base giving the building a sense of support and grounding which meets the requirements of the UDO.

C. Material Colors: Façade colors shall be of low reflectance earth tone, muted, subtle, or neutral colors. Building trim may feature brighter colors as an accent material. The use of high-intensity, metallic, fluorescent, day glow, or neon colors shall be prohibited. Variations in color schemes are encouraged to articulate entry ways and public amenities so as to give greater recognition to these features.

Staff Analysis: The colors proposed for the retail building are low reflectance earth tones and muted, subtle, neutral colors which meets the requirements of the UDO.

5.7.3 Ground Level Detailing

A. Minimize Blank Walls: Expanses of blank walls facing streets (excluding rear access drive or alleys) or public civic spaces may not exceed 20 feet in length. (A “blank wall” is a façade that does not contain transparent windows or doors.)

Staff Analysis: The proposed building has fenestration that eliminates any blank walls facing streets which meets the requirements of the UDO.

B. Ground Level Detailing: Window glazing, doorways, and façade articulation shall be the predominant features in the street-level façade. Exterior burglar bars, fixed “riot shutters”, or similar security devices shall not be visible from the public right-of-way. Sixty percent (60%) of the ground level windows shall provide direct views to the building’s interior extending a minimum of 6 feet behind the window.

Staff Analysis: The proposed building contains windows and doorway glazing at the entrances of each suite as the predominant feature and at least 60% of the ground level windows provide direct views into the buildings’ interiors which meets the requirements of the UDO.

C. Transparency Zone: Glazing that is transparent under all lighting conditions shall extend from a base of contrasting material (not exceeding 4 feet in height above the adjacent grade) to at least the height of the door head. However, spandrel or colored glass may be used above the height of the door head. The primary façade must have a minimum of 50% glazing in the transparency zone and the side façade must have a minimum 40% glazing in the transparency zone.

Staff Analysis: All the proposed building facades that face a street lot line meet the 50% minimum requirement. The front façade facing Gateway Commons Circle provides 59% transparency. The façade facing Jones Dairy Road provides 60% transparency.

All the proposed side building facades meet the 40% minimum requirement. The exterior façade facing the Gateway Commons Entrance provides 51% transparency.

D. Glazing: Required glazing shall not be aggregated into a single undivided area of glazing treatment. Individual glazing areas shall not span more than 15 linear feet and must be separated by at least 1 linear foot of contrasting material.

Staff Analysis: The glazing is dispersed into individual glazing areas and meets the standards of the UDO.

E. Canopies/Awnings: A building canopy, awning, or similar weather protection may be provided and should project a minimum of 5 feet from the façade.

Staff Analysis: No building canopy, awning, or similar weather protection is provided; therefore, the requirement in the UDO is not applicable.

F. Ventilation Grates and Emergency Exit Doors: Ventilations grates or emergency exit doors located on the first floor level in the building façade, which are oriented to any public street, shall be decorative. Unless otherwise required by the building code, such grates and doors shall be located away from pedestrian spaces (sidewalks and pedestrian paths).

Staff Analysis: All emergency exit doors shown are decorative by providing glass in the door. Staff has not received details on ventilation grates; however, all grates will be decorative and painted to match the building to meet the requirements of the UDO.

5.7.4 Utilities

A. Rooftop Equipment: All rooftop equipment shall be screened from view to the extent practical. If, due to the topography of the site, a physical screen would not suffice, alternative methods to minimize the negative aesthetics of the otherwise utilitarian equipment (e.g. painting the equipment to match the building) may be approved by the administrator.

Staff Analysis: The utilities will be placed on the roof using mechanical wells to be screened from view UDO. Roof lines are shown in relation to the rooftop equipment. The Design Review Board will need to determine if the rooftop equipment requirement is being met.

B. Wall Mounted Equipment: No-wall mounted building utility service equipment (e.g., electrical house panel boxes) shall be placed on the public street right-of-way side of the building.

Staff Analysis: No wall-mounted utilities are proposed on the Gateway Commons Circle or Jones Dairy Road sides of the building. All other wall-mounted utilities are proposed to be painted to match the building.

5.7.5 Façade Articulation

A. Vertical Elements: All architectural elevations of principal buildings (over 20 feet in height) visible from a public street or civic space shall have a clearly discernible base, body, and cap. The base shall occupy the lowest portion of the elevation, shall have a height of at least 3 feet, and be constructed of a masonry material. The component described as the body shall constitute a minimum of 50% of the total building height. The cap shall occupy the highest portion of the elevation excluding the roof and shall have a dimension that does not exceed the height of the base. The cap shall consist of a cornice, parapet, awning, canopy, eave or other architectural treatment that visually performs in the same manner. The base and cap shall be clearly distinguishable from the body through changes in color, material, pattern, profile, or texture.

Staff Analysis: The proposed building illustrates a distinct base, body, and cap meeting the requirements of the UDO.

B. Expression of Entries: Each entry way shall have 1 or more clearly defined, highly visible customer entrances facing the street. The entrance shall feature 1 or more of the following: canopies or porticos, arcades, arches, wing walls, and/or planters.

Staff Analysis: The proposed building illustrates a brick, stone, and EIFS arched entry feature that project from the façade, therefore meeting the standard. The entrance is clearly defined which meets the UDO.

C. Articulation: The frontage of buildings shall be divided into architecturally distinct sections or bays with each section taller than it is wide, unless otherwise noted. Sections or bays shall be visually established by architectural features such as columns, ribs, pilasters or piers, changes in plane, or an equivalent element that otherwise visually subdivides the wall through at least 50% of its height. The following provisions apply:

Façade Width/Use Size	Maximum Bay/Section Width	Minimum Depth of Articulation	Rooflines
b. Uses greater than 120 feet in width or 100,000 square feet; whichever is less	Shall not exceed the height of the facade	No walls may extend more than 25% of the length of that side of the building without a minimum change in plane of 2 feet. A second principal entrance is required along frontage.	At least 1 change every 60'.

Staff Analysis: The proposed building meets the standard with changes in wall plane that divide the bays. The roofline changes meet the required roofline changes specified in the UDO. The building has a principal entrance along the frontage meeting the requirement.

FINDINGS OF FACT

In order to approve an Architectural Design Review (Major) application, the required findings of fact contained in Section 15.8.5(H) of the Wake Forest Unified Development Ordinance are required to be met.

Finding 1: **The proposed plan is consistent with the adopted plans/policies of the Town and complies with all applicable requirements of this ordinance.**
 Staff Analysis: The plan as proposed meets the applicable design requirements of Chapter 5.7 of the Unified Development Ordinance, provided the Design Review Board determines rooftop equipment requirement has been met.

Finding 2: **The proposed plan conforms to the character of the neighborhood, considering the location, type and height of buildings or structures and the type and extent of landscaping on the site.**
 Staff Analysis: The proposed project conforms to the character of the Gateway Commons shopping center and surrounding area. The proposed building incorporates pre-approved materials for the Gateway Commons shopping center in the design.

Finding 3: **The proposed plan will not be detrimental to the use or the development of adjacent properties or other neighborhood uses.**

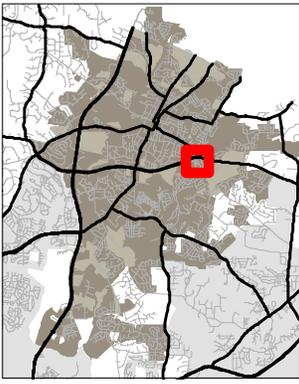
Staff Analysis: The proposed project is consistent with the area and conforms with adjacent properties and neighborhood uses.

RECOMMENDATION

Staff recommends that the Design Review Board needs to determine if the building design standards and Findings of Fact are met for the proposed Kiddie Academy building.

Attachments:

- Aerial Map
- Major Architectural Design Review Application
- Overall Site Plan
- Color Elevations and Architectural Plans of Proposed Structures



9/21/2020

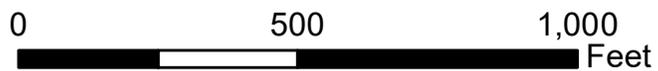


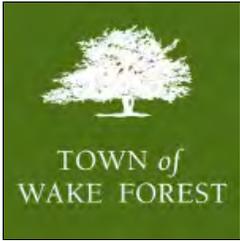
TOWN of
WAKE FOREST

**AR-20-19 KIDDIE ACADEMY DAYCARE
945 GATEWAY COMMONS CIRCLE
PIN 1850-07-3702**



Please note that this map is intended for illustrative purposes only. For specific inquiries regarding zoning boundaries, contact the Town Wake Forest Planning Department at 919-435-9510.





2.40) Architectural Design Review - Major

Major Architectural Design Review

Town of Wake Forest, NC

301 S. Brooks St.

Wake Forest, NC 27587-2932

TEL (919) 435-9510 | FAX (919) 435-9539

Project Overview

#408171

Project Title: Kiddie Academy Architectural

Jurisdiction: Town of Wake Forest (Wake County)

Application Type: 2.40) Architectural Design Review - Major

State: NC

Workflow: Major Architectural Design Review

County: Wake

Project Information

Project Address: 945 GATEWAY COMMONS CIRCLE

Tax PIN: WC 1850-07-3702

Acreage: 1.374

Land Use Type (General): Education/Institution

Zoning Information

Current Zoning: HB, Highway Business

Currently a Conditional District?: Yes

Currently a Conditional Use?: Yes

Current Zoning Overlay: NA, Not Applicable to this Project

Related Project Tracking ID: AR-20-19

General Project Information

Building Height: 29

Number of Stories: 1

Building Materials/Colors: Brick, Stone, EIFS, Architectural Asphalt Shingles

Building Type: Commercial (under 100,000 square feet)

Project Type: New Construction

Description of Work: New Childcare Facility. Including new parking lot, playground area, and building.

Factors Relevant to Major Architectural Design Review

The proposed plan is consistent with the adopted plans/policies of the Town and complies with all applicable requirements of this ordinance.: The proposed plan is in response to Kiddie Academy's growth and desire to expand into the Wake Forest community. The site layout and positioning of the building were carefully considered to maximize visibility from both Gateway Common Circle and Jones Dairy Road, while remaining respectful and responsive to the surrounding context. Building massing, materials and fenestrations were designed to meet the intent of the UDO and demonstrate performance of the Kiddie Academy brand. The drawings, renderings and materials accompanying this submittal demonstrate the level of quality being proposed and compliance with the requirements of this ordinance.

The proposed plan conforms to the character of the neighborhood, considering the location, type and height of buildings or structures and the type and extent of landscaping on the site.: The proposed building conforms to the character of the surrounding context in terms of scale, roof line, building articulation and fenestration. Materials proposed are a combination of masonry, aluminum, and EIFS that are in keeping with the texture and scale of the surrounding developed properties. They will offer a comparable level of visual appeal to the area and are in accordance with this ordinance.

The proposed plan will not be detrimental to the use or development of the adjacent properties or other

neighborhood uses.: The proposed development will have no detrimental effect on the adjacent properties immediate context. We believe a childcare facility of the quality being proposed will serve to benefit Gateway Common Circle and the citizen of Wake Forest.

Project Contacts

Project Contact - Applicant

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1110 Navaho Drive, Suite 600
Raleigh, NC 27609
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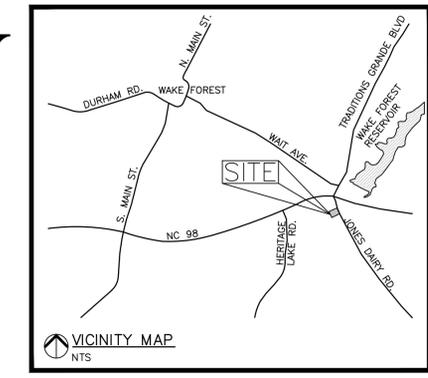
Project Contact - Owner

John Fife Jr
Gateway Forest, LLC
4020 Barrett Dr
Raleigh, NC 27609
P:919.847.2400
sanjay.sharma@kiddieacademy.net

WAKE FOREST CHILDCARE FACILITY

945 GATEWAY COMMONS CIRCLE
Wake Forest, North Carolina

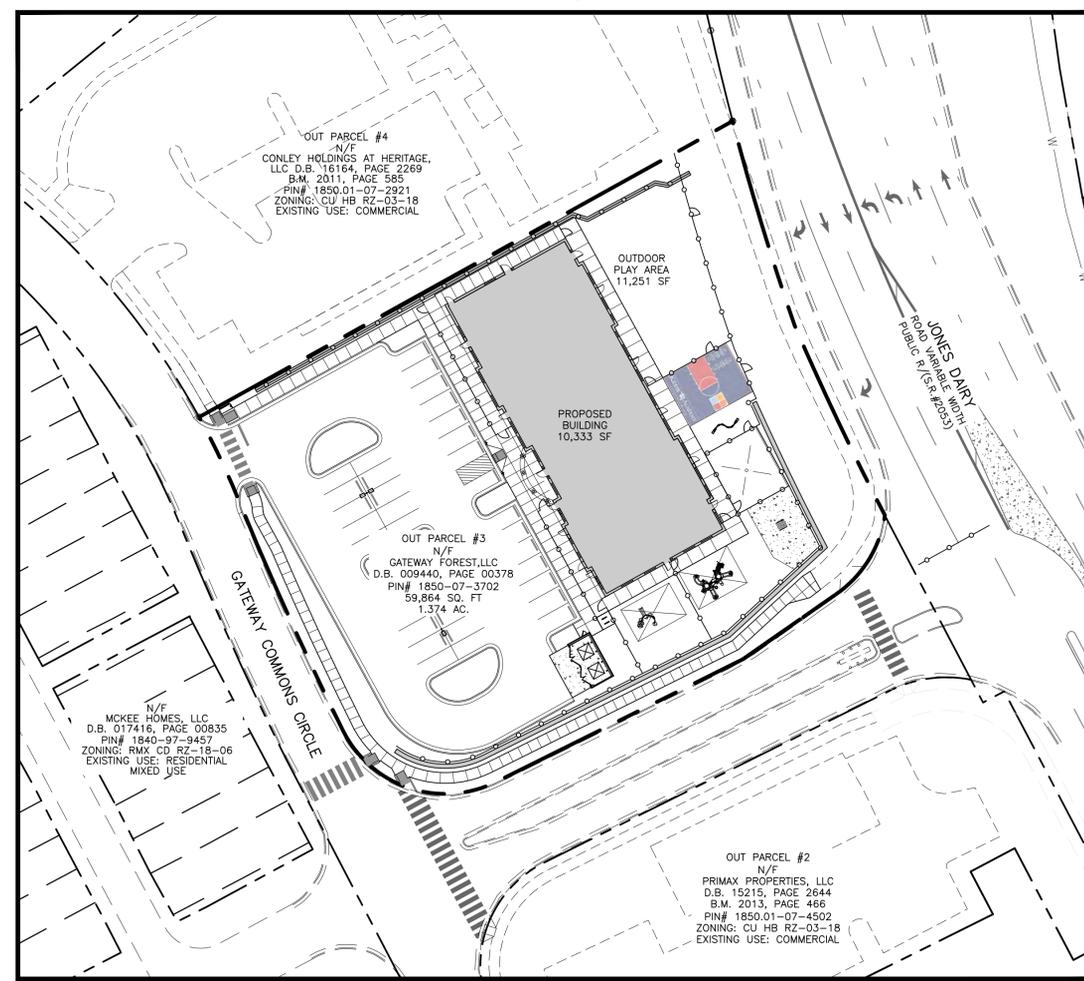
MAJOR ARCHITECTURAL REVIEW
SP-20-11 | AR-20-19



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LICENSE NO. P-0803

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CONSTRUCTION

THE SITE GROUP
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Fax: 919.839.2255
E Mail: srm@thesitegroup.net



SITE DATA SUMMARY

1. PIN NUMBERS:	1850-07-3702
2. CURRENT OWNER:	GATEWAY FOREST LLC.
3. ADDRESS:	945 GATEWAY COMMONS CIRCLE
4. EXISTING ZONING:	CU HB RZ-03-18
5. PARCEL SIZE:	59,864 SF / 1.374 AC.
6. CURRENT USE:	VACANT
7. PROPOSED USE:	CHILDCARE FACILITY
8. PROPOSED BUILDING SF:	10,333 SF.
9. ALLOWED BUILDING HEIGHT:	42' (3 STORIES)
10. PROPOSED BUILDING HEIGHT:	29' (1 STORY)
11. VEHICULAR PARKING:	35 SPACES PER 6 AT MAX CAPACITY (186 ENROLLEES & 20 EMPLOYEES)
CODE REQUIRED:	38 (INCLUDING 2 VAN ACCESSIBLE SPACES)
PROVIDED:	
11. BICYCLE PARKING:	2 BICYCLE PARKING SPACES (2 PER 50 VEHICULAR PARKING SPACES)
CODE REQUIRED:	
PROVIDED:	4 BICYCLE PARKING SPACES
12. BUILDING SETBACKS:	
FRONT YARD:	30'
STREET SIDE SETBACK:	30'
SIDE YARD:	10'
REAR YARD:	30'
13. RIVER BASIN:	NEUSE
14. EXISTING IMPERVIOUS AREA:	1,912 SF / 0.04 AC (3.2% OF SITE)
15. PROPOSED IMPERVIOUS AREA:	41,553 SF / 0.954 AC (69.4% OF SITE)

DRAWINGS INDEX:

SITE 001	COVER SHEET
SITE 100	EXISTING CONDITIONS & DEMO PLAN
SITE 200	SITE LAYOUT & STAKING PLAN
SITE 300	GRADING PLAN
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A1.2	EXTERIOR ELEVATIONS
A1.3	EXTERIOR ELEVATIONS
A1.4	EXTERIOR RENDERINGS
A1.5	EXTERIOR RENDERINGS

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EMAIL: srm@thesitegroup.net

DEVELOPER:
KIDDIE ACADEMY
SANJAY SHARMA
2111 WINTERBORNE DRIVE
CARY, NC 27519



COVER SHEET

SCALE: 1" = 40' (DRAWING SCALED FOR 24x36 INCH PLOTS)



CONSTRUCTION DRAWINGS FOR:
**WAKE FOREST
CHILDCARE FACILITY**
945 GATEWAY COMMONS CIRCLE
WAKE FOREST, NORTH CAROLINA

Drawn By: CSM
Checked By: SRN

DATE:
06 APR 2020
REVISED:
▲ 04 MAY 2020
▲ 01 JUN 2020
▲ 24 JUL 2020

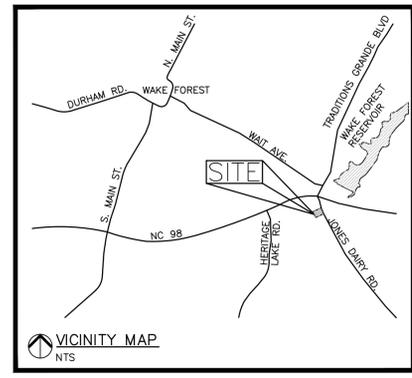
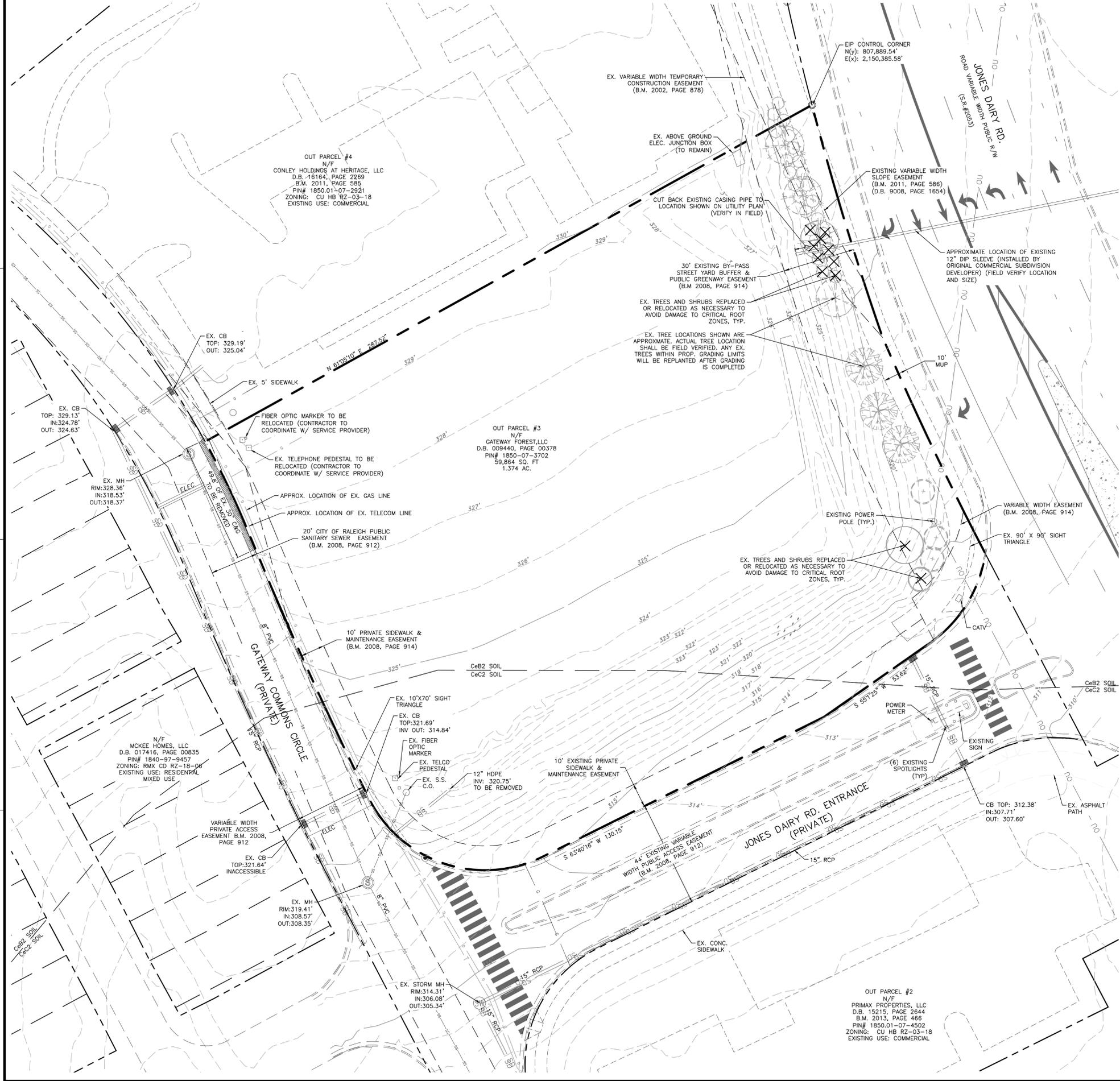
MAJOR ARCH.
REVIEW

COVER SHEET

Job Code: PAWFKA

Dwg No.
**SITE
001**

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LEGEND

	PROPERTY BOUNDARY
	LOT LINE
	EX. STREETScape/EASEMENT LINE
	EXISTING OVERHEAD POWER LINE
	EXISTING SANITARY SEWER
	EXISTING WATER LINE
	EXISTING TOPO MAJOR
	EXISTING TOPO MINOR



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CONSTRUCTION DRAWINGS FOR:
**WAKE FOREST
CHILD CARE FACILITY**
945 GATEWAY COMMONS CIRCLE
WAKE FOREST, NORTH CAROLINA

Drawn By: **CSM**
Checked By: **SRN**

DATE:
06 APR 2020
REVISED:
04 MAY 2020
01 JUN 2020
24 JUL 2020

MAJOR ARCH. REVIEW

EXISTING CONDITIONS & DEMO PLAN

Job Code: **PAWFKA**

Dwg No.
**SITE
100**



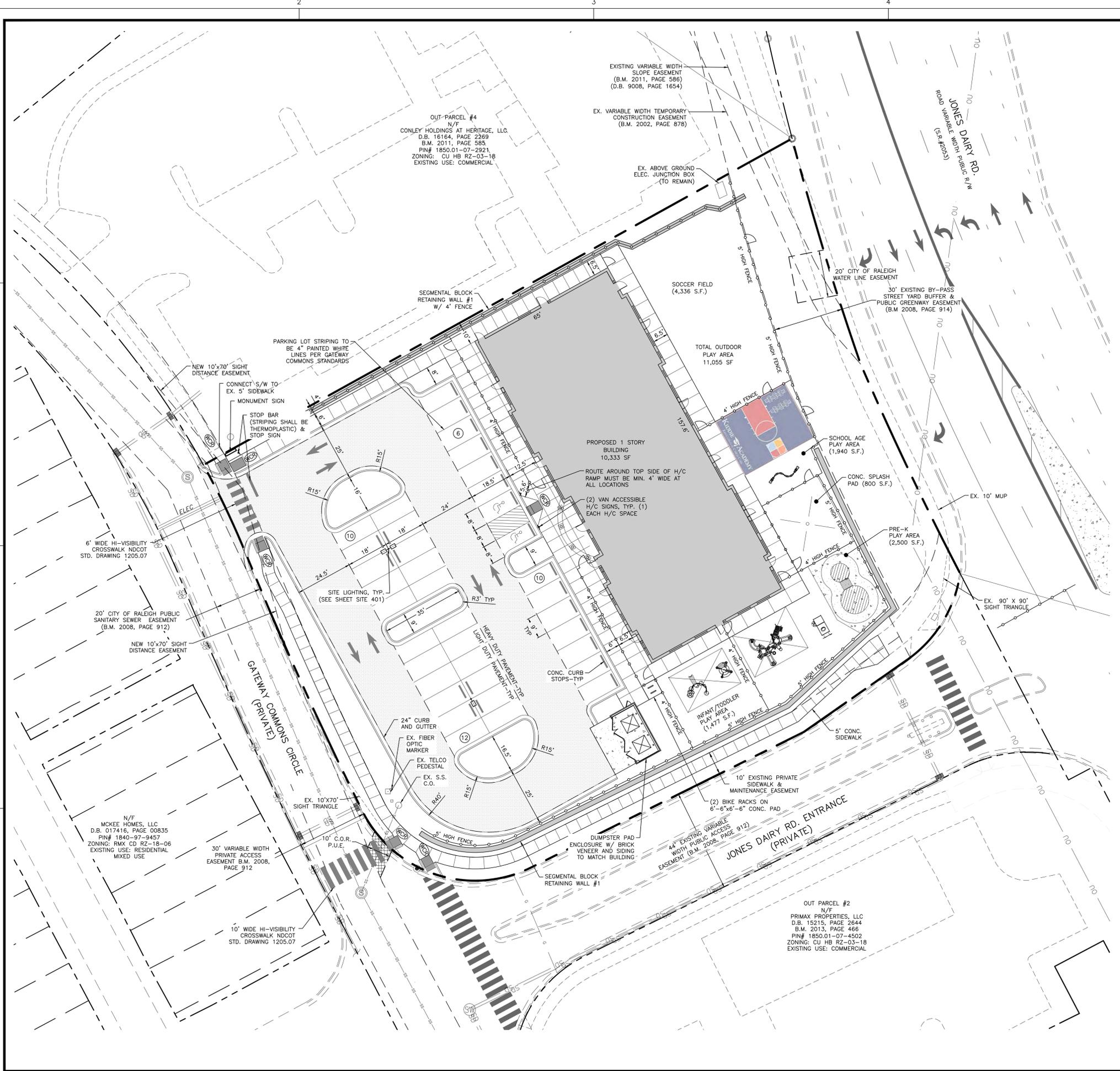
EXISTING CONDITIONS
& DEMO PLAN

SCALE: 1" = 20'

(DRAWING SCALED FOR 24x36 INCH PLOTS)



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LEGEND

	PROPERTY BOUNDARY
	LOT LINE
	STREETScape LINE
	EXISTING OVERHEAD POWER LINE
	EXISTING SANITARY SEWER
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING TOPO MAJOR
	EXISTING TOPO MINOR

GENERAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF WAKE FOREST, CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4849) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- BOUNDARY, TOPOGRAPHY AND UTILITY INFORMATION IS TAKEN FROM A SURVEY BY CMP, PROFESSIONAL LAND SURVEYORS, DATED DECEMBER 12, 2019. ADDITIONAL PROPERTY INFORMATION IS TAKEN FROM WAKE COUNTY GIS AND HAS NOT BEEN FIELD VERIFIED.
- ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.



SITE LAYOUT & STAKING PLAN

SCALE: 1" = 20'



NC ENGINEERING LICENSE NO. P-0803

PRELIMINARY NOT FOR CONSTRUCTION

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 945 GATEWAY COMMONS CIRCLE
 WAKE FOREST, NORTH CAROLINA

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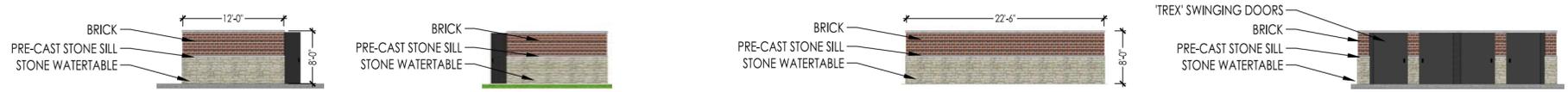
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Job Code: PAWFKA

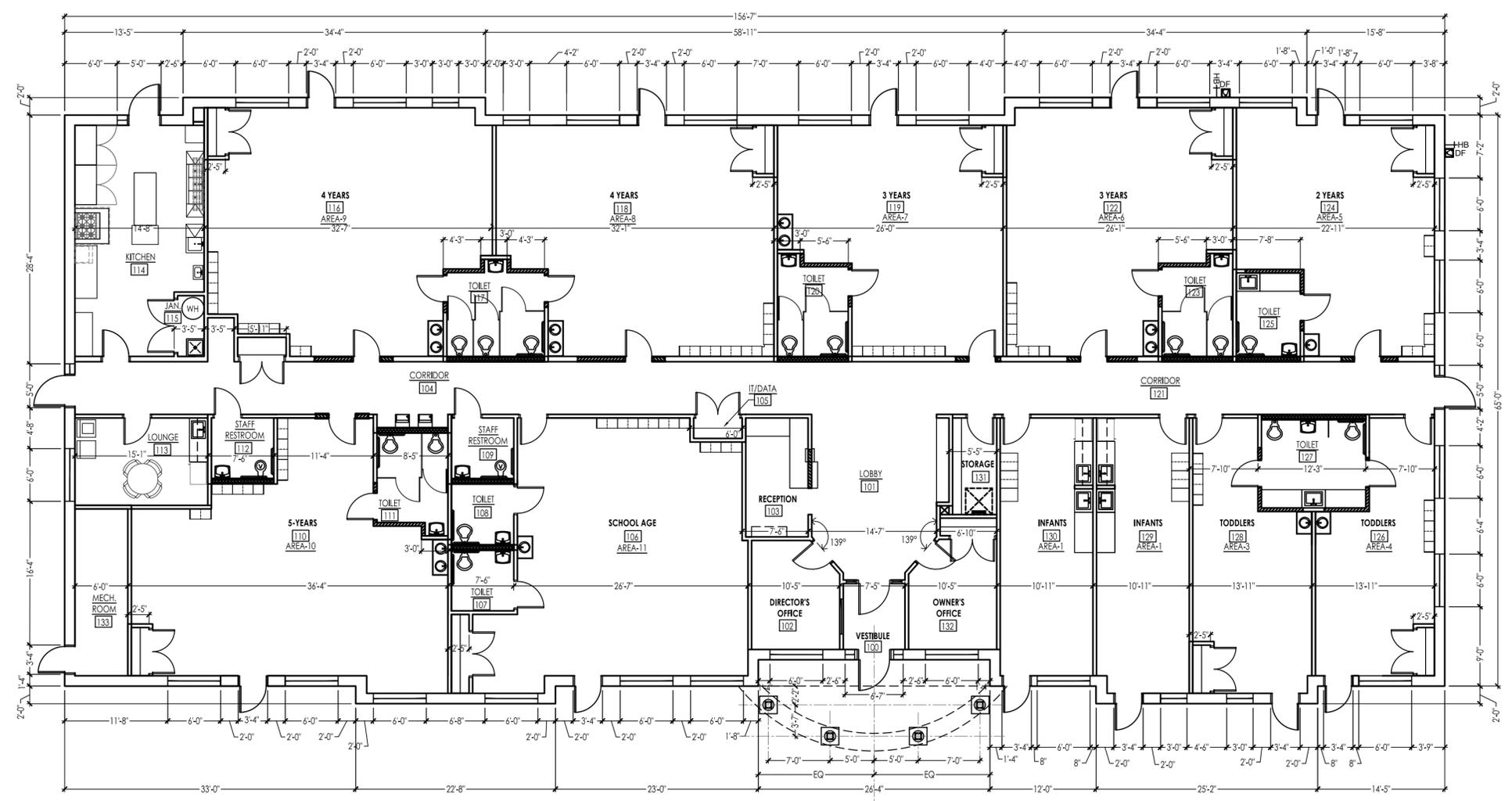
Dwg No. **SITE 200**

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 © THIS DRAWING IS A COPYRIGHT OF PHILLIPS ARCHITECTURE PA, 2020. PLOTTED: 9/8/2020 10:01 AM



2 DUMPSTER ELEVATIONS
 SCALE: 3/32"=1'-0"



TOTAL BUILDING SQUARE FOOTAGE: 9,796 sf

1 FLOOR PLAN
 SCALE: 3/32"=1'-0"

KIDDLE ACADEMY
 945 GATEWAY COMMONS CIRCLE
 WAKE FOREST, NORTH CAROLINA

DATE:	06/23/2020
REVISIONS:	
1:	07/28/2020
2:	08/25/2020
3:	09/08/2020

DRAWING TITLE:
FLOOR PLAN
 SHEET NO:
A1.1

FILE: F:\Educational\2020\Kiddie Academy - Wake Forest\DRB Submission\20200808 - Kiddie Academy CAD Elevations.dwg
 © THIS DRAWING IS A COPYRIGHT OF PHILLIPS ARCHITECTURE PA, 2020. PLOTTED: 9/8/2020 10:01 AM

TOWN OF WAKE FOREST ZONING COMPLIANCE CRITERIA:

ZONING DISTRICT: HB - HIGHWAY BUSINESS

5.7.2 FACADE MATERIALS AND COLORS CONSIST OF BRICK (BROWN/TAN), EIFS (TAN), STONE (CREAM) AND WINDOWS WITH CLEAR VISION GLASS AND BRONZE VINYL FRAMING.

5.7.3 GROUND LEVEL DETAIL INCLUDES EXTENSIVE USE OF MASONRY COURSING, INSETS AND PROJECTIONS IN BUILDING WALL PLANE, WINDOWS THAT PROVIDE 50%+ MINIMUM WALL AREA OF THE PRIMARY FACADE.

5.7.4 MECHANICAL EQUIPMENT WILL BE SCREENED FROM PEDESTRIAN LEVEL VIEW VIA A MECHANICAL WELL. SERVICE EQUIPMENT AT GROUND LEVEL WILL NOT BE PLACED ON THE PUBLIC STREET RIGHT-OF-WAY.

5.7.5 VERTICAL ELEMENTS OF THE BUILDING ARE PROVIDED WITH DISCERNIBLE BASE, BODY, AND CAP (STONE AT BASE, MASONRY AT BODY, AND EIFS AT CAP). DISTINGUISHED ENTRY ELEMENTS ARE PROVIDED ON THE SOUTHWEST SIDE OF THE BUILDING WITH ARCH ELEMENT, AND THE NORTHEAST SIDE OF THE BUILDING WITH BUMPED OUT FACADE ELEMENTS.

SOUTHEAST TRANSPARENCY ZONE:

TRANSPARENCY ZONE SQUARE FOOTAGE: 390 SF

GLAZING **IN** TRANSPARENCY ZONE SQUARE FOOTAGE: 61 SF
 GLAZING **OUTSIDE** TRANSPARENCY ZONE SQUARE FOOTAGE: 10 SF

MINIMUM PERCENTAGE OF GLAZING REQUIRED: 40%
 PERCENTAGE OF GLAZING **IN** TRANSPARENCY ZONE: 16%
 PERCENTAGE OF GLAZING **OUTSIDE** TRANSPARENCY ZONE: 3%

TOTAL GLAZING PROVIDED: 19%

SOUTHEAST FACADE MATERIALS:

FACADE SQUARE FOOTAGE: 750 SF

EIFS SQUARE FOOTAGE: 87 SF
 EIFS PERCENTAGE: 12%

NORTHWEST TRANSPARENCY ZONE:

TRANSPARENCY ZONE SQUARE FOOTAGE: 390 SF

GLAZING **IN** TRANSPARENCY ZONE SQUARE FOOTAGE: 167 SF
 GLAZING **OUTSIDE** TRANSPARENCY ZONE SQUARE FOOTAGE: 31 SF

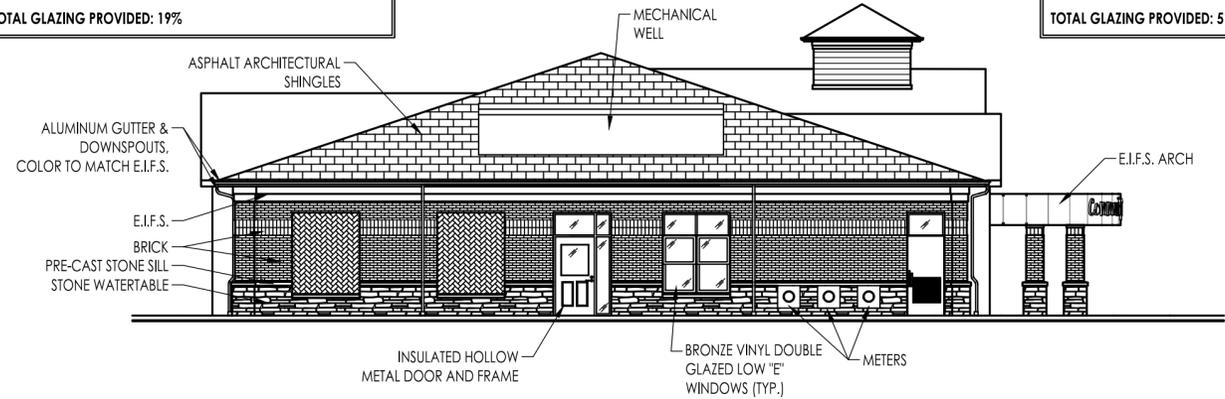
MINIMUM PERCENTAGE OF GLAZING REQUIRED: 40%
 PERCENTAGE OF GLAZING **IN** TRANSPARENCY ZONE: 43%
 PERCENTAGE OF GLAZING **OUTSIDE** TRANSPARENCY ZONE: 8%

TOTAL GLAZING PROVIDED: 51%

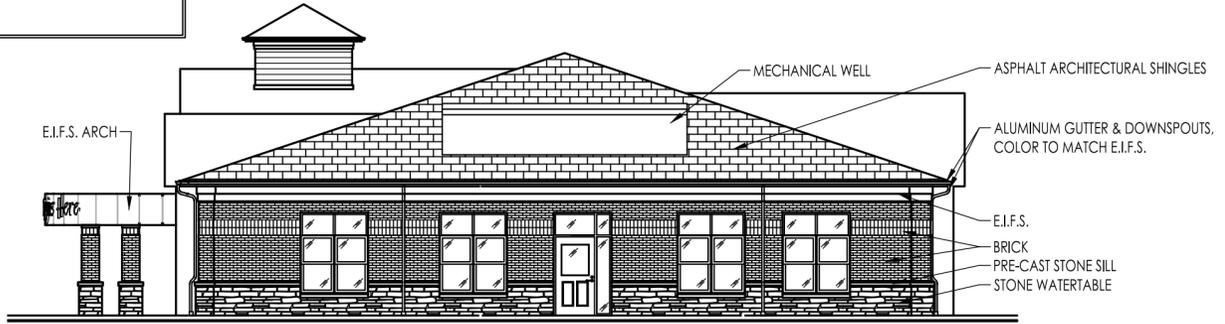
NORTHWEST FACADE MATERIALS:

FACADE SQUARE FOOTAGE: 750 SF

EIFS SQUARE FOOTAGE: 87 SF
 EIFS PERCENTAGE: 12%



3 NORTHWEST ELEVATION
 SCALE: 3/32"=1'-0"



4 SOUTHEAST ELEVATION - GATEWAY COMMONS ENTRANCE
 SCALE: 3/32"=1'-0"

NORTHEAST TRANSPARENCY ZONE:

TRANSPARENCY ZONE SQUARE FOOTAGE: 940 SF

GLAZING **IN** TRANSPARENCY ZONE SQUARE FOOTAGE: 485 SF
 GLAZING **OUTSIDE** TRANSPARENCY ZONE SQUARE FOOTAGE: 79 SF

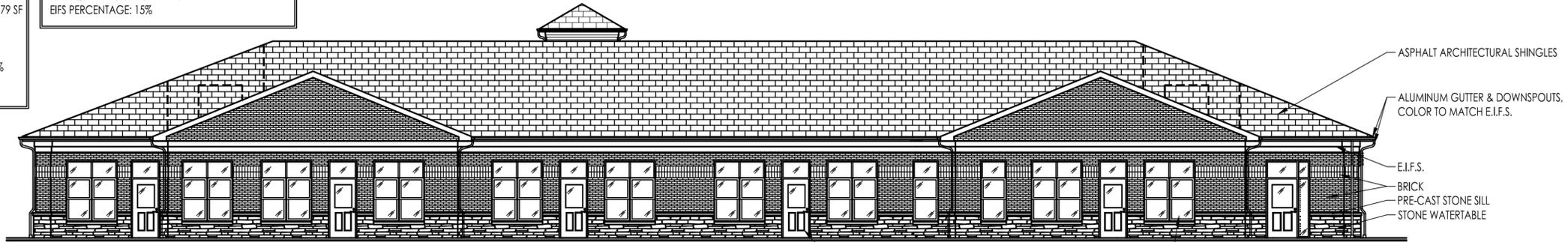
MINIMUM PERCENTAGE OF GLAZING REQUIRED: 50%
 PERCENTAGE OF GLAZING **IN** TRANSPARENCY ZONE: 52%
 PERCENTAGE OF GLAZING **OUTSIDE** TRANSPARENCY ZONE: 8%

TOTAL GLAZING PROVIDED: 60%

NORTHEAST FACADE MATERIALS:

FACADE SQUARE FOOTAGE: 1,803 SF

EIFS SQUARE FOOTAGE: 272 SF
 EIFS PERCENTAGE: 15%



2 NORTHEAST - JONES DAIRY ROAD
 SCALE: 3/32"=1'-0"

SOUTHWEST TRANSPARENCY ZONE:

TRANSPARENCY ZONE SQUARE FOOTAGE: 940 SF

GLAZING **IN** TRANSPARENCY ZONE SQUARE FOOTAGE: 466 SF
 GLAZING **OUTSIDE** TRANSPARENCY ZONE SQUARE FOOTAGE: 87 SF

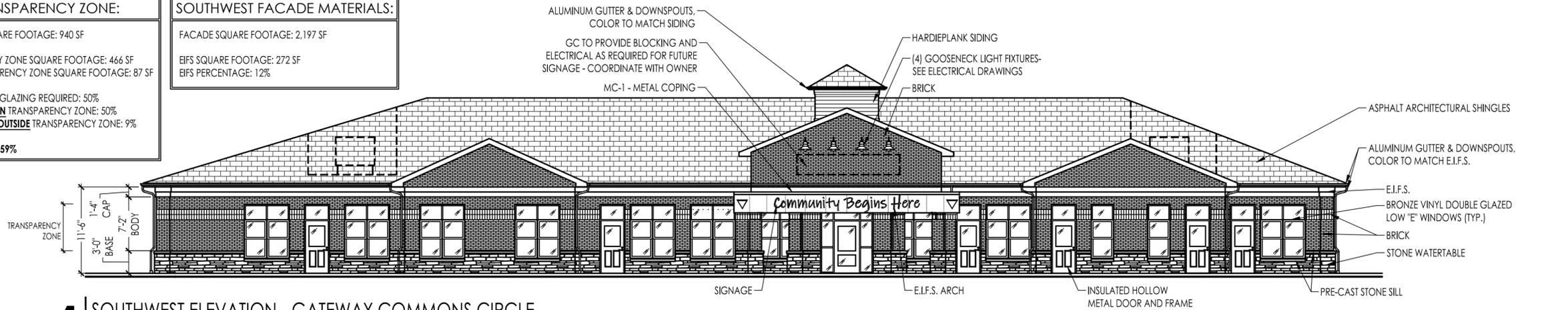
MINIMUM PERCENTAGE OF GLAZING REQUIRED: 50%
 PERCENTAGE OF GLAZING **IN** TRANSPARENCY ZONE: 50%
 PERCENTAGE OF GLAZING **OUTSIDE** TRANSPARENCY ZONE: 9%

TOTAL GLAZING PROVIDED: 59%

SOUTHWEST FACADE MATERIALS:

FACADE SQUARE FOOTAGE: 2,197 SF

EIFS SQUARE FOOTAGE: 272 SF
 EIFS PERCENTAGE: 12%



1 SOUTHWEST ELEVATION - GATEWAY COMMONS CIRCLE
 SCALE: 3/32"=1'-0"

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EXTERIOR MATERIALS

					
BRICK - FULL RANGE	BRICK - LIGHT ROSE	STONE WATERTABLE	EIFS - HERALDIC IVORY	TRIM - WHITE HYACINTH	DOORS - SW BLACK FOX

TOWN OF WAKE FOREST ZONING COMPLIANCE CRITERIA:

ZONING DISTRICT: HB - HIGHWAY BUSINESS

5.7.2 FACADE MATERIALS AND COLORS CONSIST OF BRICK (BROWN/TAN), EIFS (TAN), STONE (CREAM) AND WINDOWS WITH CLEAR VISION GLASS AND BRONZE VINYL FRAMING.

5.7.3 GROUND LEVEL DETAIL INCLUDES EXTENSIVE USE OF MASONRY COURSING, INSERTS AND PROJECTIONS IN BUILDING WALL PLANE, WINDOWS THAT PROVIDE 50%+ MINIMUM WALL AREA OF THE PRIMARY FACADE.

5.7.4 MECHANICAL EQUIPMENT WILL BE SCREENED FROM PEDESTRIAN LEVEL VIEW VIA A MECHANICAL WELL. SERVICE EQUIPMENT AT GROUND LEVEL WILL NOT BE PLACED ON THE PUBLIC STREET RIGHT-OF-WAY.

5.7.5 VERTICAL ELEMENTS OF THE BUILDING ARE PROVIDED WITH DISCERNIBLE BASE, BODY, AND CAP (STONE AT BASE, MASONRY AT BODY, AND EIFS AT CAP). DISTINGUISHED ENTRY ELEMENTS ARE PROVIDED ON THE SOUTHWEST SIDE OF THE BUILDING WITH ARCH ELEMENT, AND THE NORTHEAST SIDE OF THE BUILDING WITH BUMPED OUT FACADE ELEMENTS.

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 CHECKED BY: JAS
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 NOT FOR CONSTRUCTION
 NCSBC 2018



MECHANICAL WELL

ASPHALT ARCHITECTURAL SHINGLES

ALUMINUM GUTTER & DOWNSPOUTS, COLOR TO MATCH EIFS.

EIFS.

BRICK

PRE-CAST STONE SILL

STONE WATERTABLE

EIFS ARCH

INSULATED HOLLOW METAL DOOR AND FRAME

BRONZE VINYL DOUBLE GLAZED LOW "E" WINDOWS (TYP.)

METERS

3 | NORTHWEST ELEVATION

SCALE: 3/32"=1'-0"



MECHANICAL WELL

ASPHALT ARCHITECTURAL SHINGLES

ALUMINUM GUTTER & DOWNSPOUTS, COLOR TO MATCH EIFS.

EIFS.

BRICK

PRE-CAST STONE SILL

STONE WATERTABLE

EIFS ARCH

4 | SOUTHEAST ELEVATION - GATEWAY COMMONS ENTRANCE

SCALE: 3/32"=1'-0"



ASPHALT ARCHITECTURAL SHINGLES

ALUMINUM GUTTER & DOWNSPOUTS, COLOR TO MATCH EIFS.

EIFS.

BRICK

PRE-CAST STONE SILL

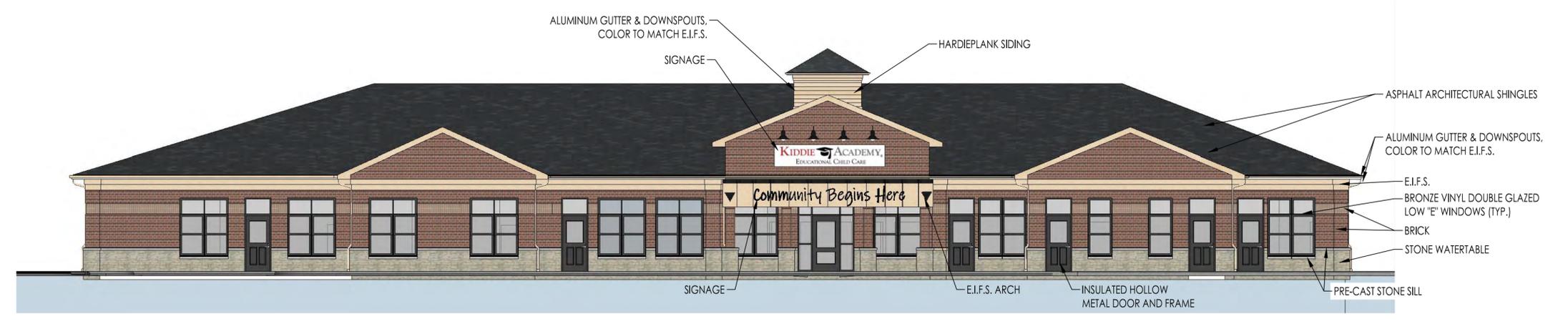
STONE WATERTABLE

INSULATED HOLLOW METAL DOOR AND FRAME

BRONZE VINYL DOUBLE GLAZED LOW "E" WINDOWS (TYP.)

2 | NORTHEAST - JONES DAIRY ROAD

SCALE: 3/32"=1'-0"



ALUMINUM GUTTER & DOWNSPOUTS, COLOR TO MATCH EIFS.

SIGNAGE

HARDIEPLANK SIDING

ASPHALT ARCHITECTURAL SHINGLES

ALUMINUM GUTTER & DOWNSPOUTS, COLOR TO MATCH EIFS.

EIFS.

BRONZE VINYL DOUBLE GLAZED LOW "E" WINDOWS (TYP.)

BRICK

STONE WATERTABLE

SIGNAGE

EIFS ARCH

INSULATED HOLLOW METAL DOOR AND FRAME

PRE-CAST STONE SILL

Community Begins Here

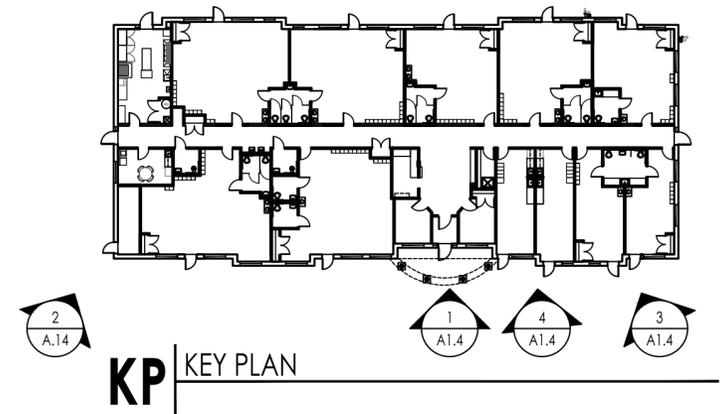
1 | SOUTHWEST ELEVATION - GATEWAY COMMONS CIRCLE

SCALE: 3/32"=1'-0"

KIDDLE ACADEMY
 945 GATEWAY COMMONS CIRCLE
 WAKE FOREST, NORTH CAROLINA

DATE: 06/23/2020
 REVISIONS:
 1: 07/28/2020
 2: 08/25/2020
 3: 09/08/2020
 DRAWING TITLE:
 EXTERIOR ELEVATIONS
 SHEET NO:
A1.3

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4 | SOUTHWEST RENDERING - GATEWAY COMMONS CIRCLE



3 | SOUTHWEST RENDERING - GATEWAY COMMONS CIRCLE



2 | SOUTHWEST RENDERING - GATEWAY COMMONS CIRCLE



1 | SOUTHWEST RENDERING - GATEWAY COMMONS CIRCLE

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MAJOR ARCHITECTURAL REVIEW
NOT FOR CONSTRUCTION

NCSBC 2018

KIDDLE ACADEMY
945 GATEWAY COMMONS CIRCLE
WAKE FOREST, NORTH CAROLINA

DATE: 06/23/2020
REVISIONS:
1: 07/28/2020
2: 08/25/2020

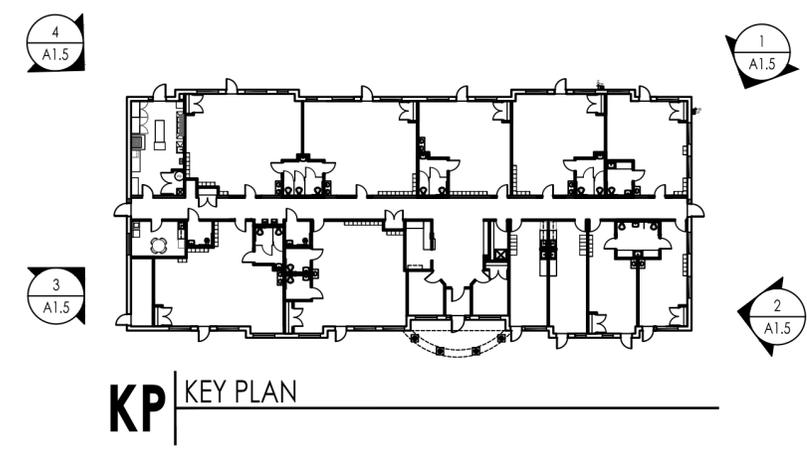
DRAWING TITLE:

EXTERIOR
RENDERINGS

SHEET NO:

A1.4

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KP KEY PLAN

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PROJECT NO. 220100
DRAWN BY: J.A.
CHECKED BY: J.P.
MAJOR ARCHITECTURAL REVIEW
NOT FOR CONSTRUCTION

NCSBC 2018

KIDDLE ACADEMY
945 GATEWAY COMMONS CIRCLE
WAKE FOREST, NORTH CAROLINA

DATE: 06/23/2020
REVISIONS:
1: 07/28/2020
2: 08/25/2020
3: 09/08/2020

DRAWING TITLE:

EXTERIOR
RENDERINGS

SHEET NO.

A1.5



4 | NORTHWEST/NORTHEAST RENDERING - JONES DAIRY ROAD



3 | SOUTHEAST/SOUTHWEST RENDERING - GATEWAY COMMONS ENTRANCE/CIRCLE



2 | SOUTHEAST RENDERING - GATEWAY COMMONS ENTRANCE



1 | NORTHEAST RENDERING - JONES DAIRY ROAD

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5 VIEW FROM JONES DAIRY ROAD ENTRANCE



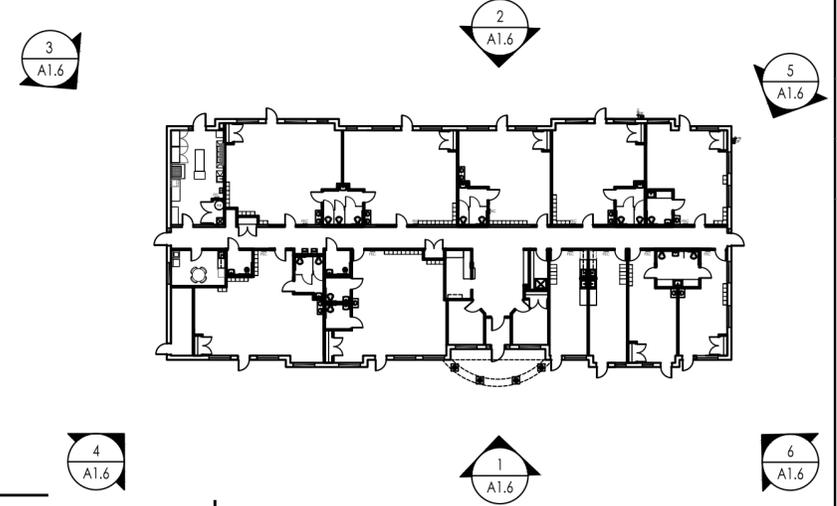
6 VIEW FROM JONES DAIRY ROAD ENTRANCE & GATEWAY COMMONS CIRCLE



4 VIEW FROM GATEWAY COMMON CIRCLE



3 VIEW FROM JONES DAIRY ROAD



KP KEY PLAN

NOTES:
ROOFTOP EQUIPMENT TO BE PAINTED TO MATCH ROOFING MATERIAL.



2 NORTHEAST - JONES DAIRY ROAD
SCALE: 1/16"=1'-0"



1 SOUTHWEST ELEVATION - GATEWAY COMMONS CIRCLE
SCALE: 1/16"=1'-0"