

February 23, 2012

TRC Meeting

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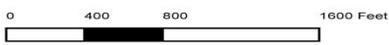
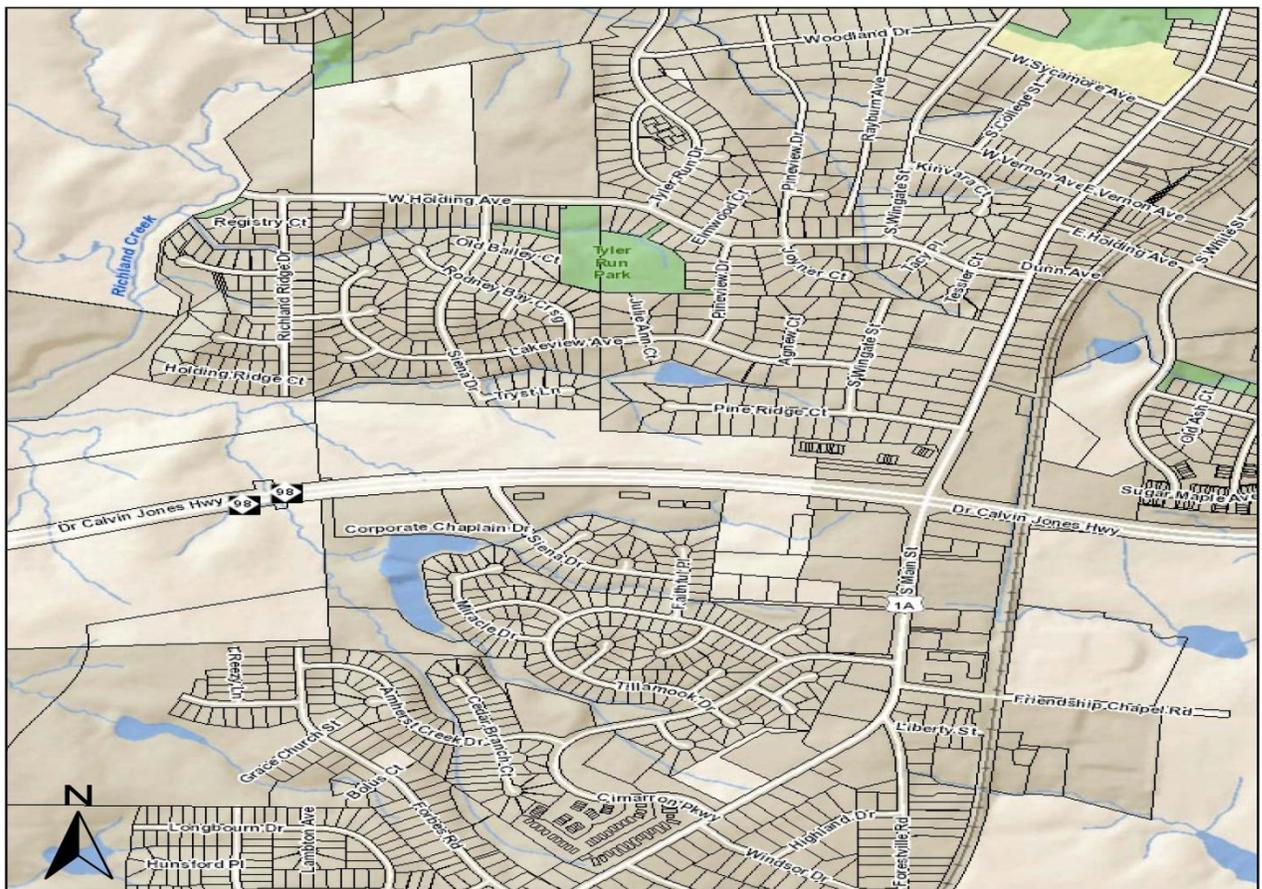
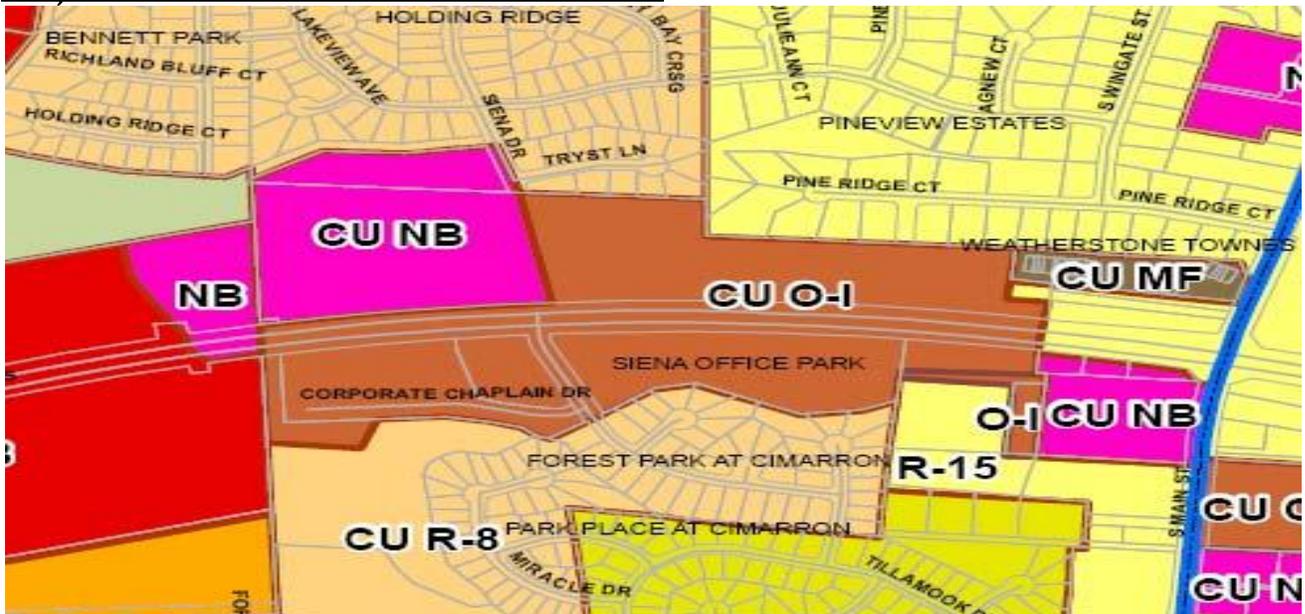
4. OTHER BUSINESS:

A. Report from City of Raleigh

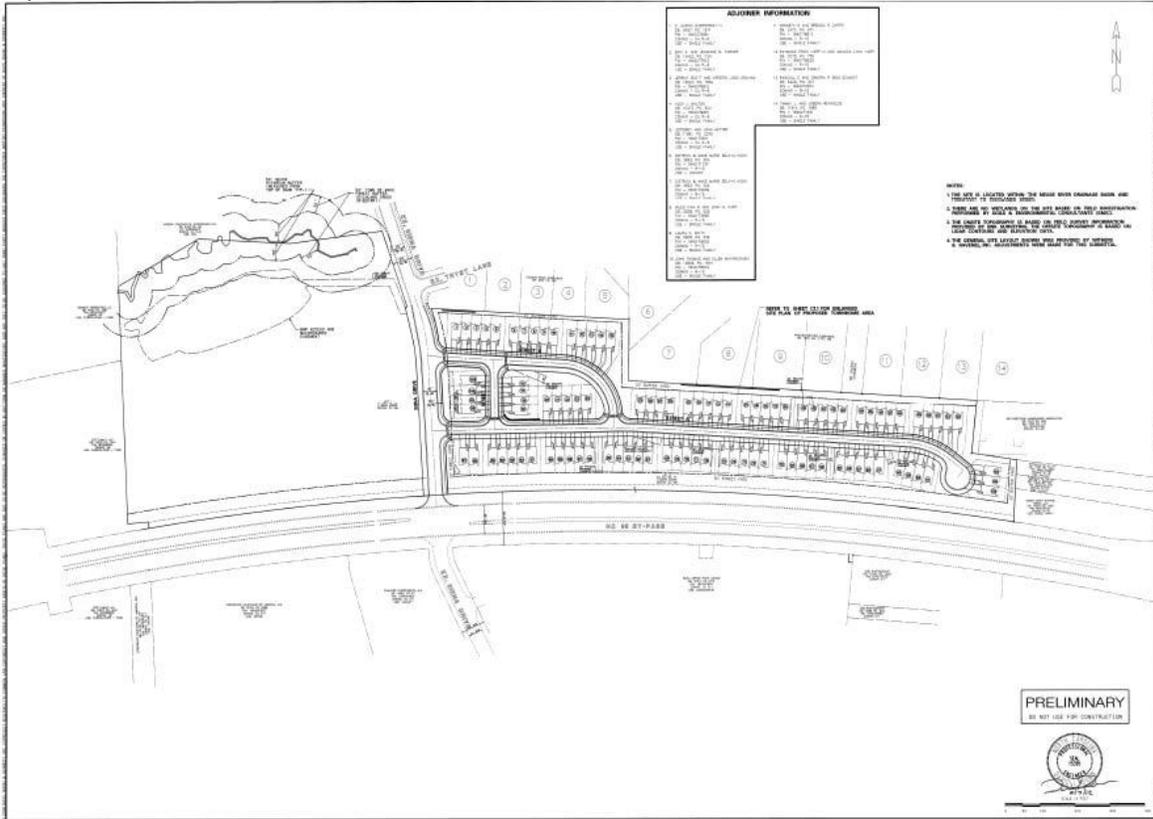
B. Discussion on Future Planning Board/Board of Commissioners Items.

5. ADJOURNMENT

Project: SU-12-01 Siena Drive Townhomes



Project: SU-12-01 Siena Drive Townhomes



ADJOURNER INFORMATION

1. PROJECT NO. SU-12-01	2. SHEET NO. 11
3. DATE 03/15/12	4. SCALE 1/8" = 1'-0"
5. PROJECT NAME SIENA DRIVE TOWNHOMES	6. CLIENT BASS, NIXON & KENNEDY, INC.
7. SITE ADDRESS 55 50 ST-RS3	8. CITY/STATE/ZIP 07033
9. COUNTY/STATE NJ/PA	10. PROJECT TYPE TOWNHOMES
11. DESIGNER BASS, NIXON & KENNEDY, INC.	12. ARCHITECT BASS, NIXON & KENNEDY, INC.
13. ENGINEER BASS, NIXON & KENNEDY, INC.	14. CONTRACTOR BASS, NIXON & KENNEDY, INC.
15. PERMIT NO. 12-000000000	16. PERMIT DATE 03/15/12
17. PERMIT EXPIRES 03/15/13	18. PERMIT STATUS OPEN
19. PROJECT STATUS PRELIMINARY	20. PROJECT PHASE SITE PLAN

- NOTES**
1. THIS SITE IS LOCATED WITHIN THE BRIDGE OVER CHANNELS AREA AND IS SUBJECT TO FLOODING RISKS.
 2. THIS SITE IS SUBJECT TO THE BRIDGE OVER CHANNELS AREA AND IS SUBJECT TO FLOODING RISKS.
 3. THE OWNER'S RESPONSIBILITY IS BASED ON THE OWNER'S REPRESENTATION AND WARRANTIES AS TO THE ACCURACY OF ALL INFORMATION PROVIDED.
 4. THE OWNER'S SITE LEVELS SHALL BE PROVIDED BY SURVEY & SHOWN ON THE ATTACHED SITE PLAN FOR THE OWNER'S REVIEW.

BANK

BASS, NIXON & KENNEDY, INC.
 CONSULTING ENGINEERS
 1000 ROUTE 100, SUITE 200
 BRIDGEWATER, NJ 07008
 TEL: 908.661.1111 FAX: 908.661.1112
 WWW.BASSNIXONKENNEDY.COM

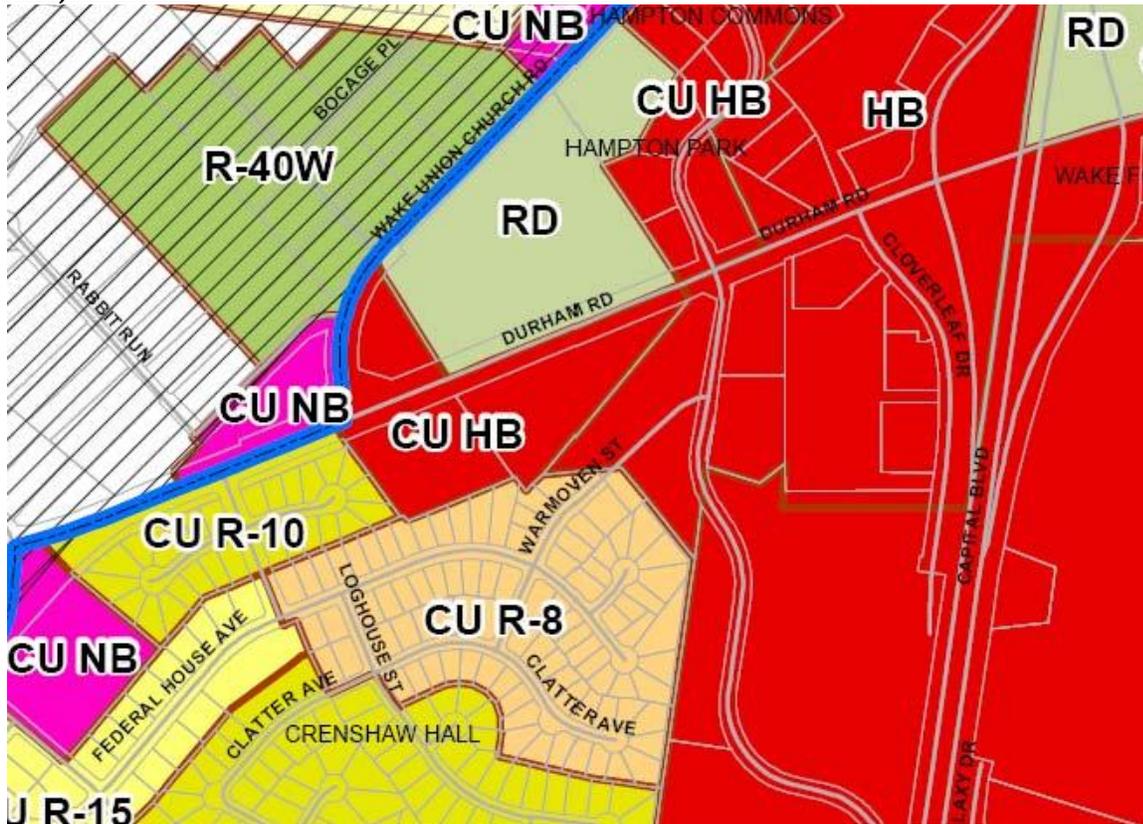
SIENA DRIVE TOWNHOMES
 DEVELOPED BY: BASS, NIXON & KENNEDY, INC.
 SHEET NO. 11 OF 12
 DATE: 03/15/12

PRELIMINARY
 DO NOT USE FOR CONSTRUCTION

STAMP: PROFESSIONAL ENGINEER, CIVIL, STATE OF NEW JERSEY, NO. 35, BASS, NIXON & KENNEDY, INC.

NOT RELEASED FOR CONSTRUCTION OR FOR SOLUTIONS

Project: SP-10-05 Richland Creek Plaza





TOWN *of*
WAKE FOREST

TECHNICAL REVIEW COMMITTEE

WAKE FOREST TOWN HALL
301 S. BROOKS STREET
2nd FLOOR, ROOM 201

THURSDAY, MARCH 22, 2012 at 10:00 A.M.
MEETING AGENDA

Meeting Format:

- The planner assigned to the project gives a brief overview and brings up any major issues that need the group's consensus.
 - In order, each TRC member/department representative provides their written comments to the planner and brings up any major issues that need discussing concerning their department.
 - Comments to the planner can be provided prior to the meeting, but please have written comments available at the meeting should they need to be amended.
 - At the conclusion of the project discussed, there should be a consensus to decide if the item should come back to the TRC or not based on the comments received.
 - This allows the planner to prepare a comprehensive staff comments document that can be sent to the appropriate engineer/development firm.
- Department Members: Planning, Public Works, Engineering, Administration, City of Raleigh
Utilities, Inspections, and Police

1. CALL TO ORDER

2. ITEMS FOR REVIEW

A. Development Plan – PDQ Restaurant

Size – 1.40 acres
Land Use – Restaurant
Zoning – C.U. HB (RCWPOD)
Location – NC-98 Bypass & Northpark Drive
Applicant – John A. Edwards and Company
Planner - Charlie Yokley

B. Development Plan – Crossroads Corporate Office

Size – 2.13 acres
Land Use – Office
Zoning – C.U. HB (RCWPOD)
Location – 11120 Capital Blvd
Applicant – Bill Daniel and Associates
Planner Charlie Yokley

March 22, 2012

TRC Meeting

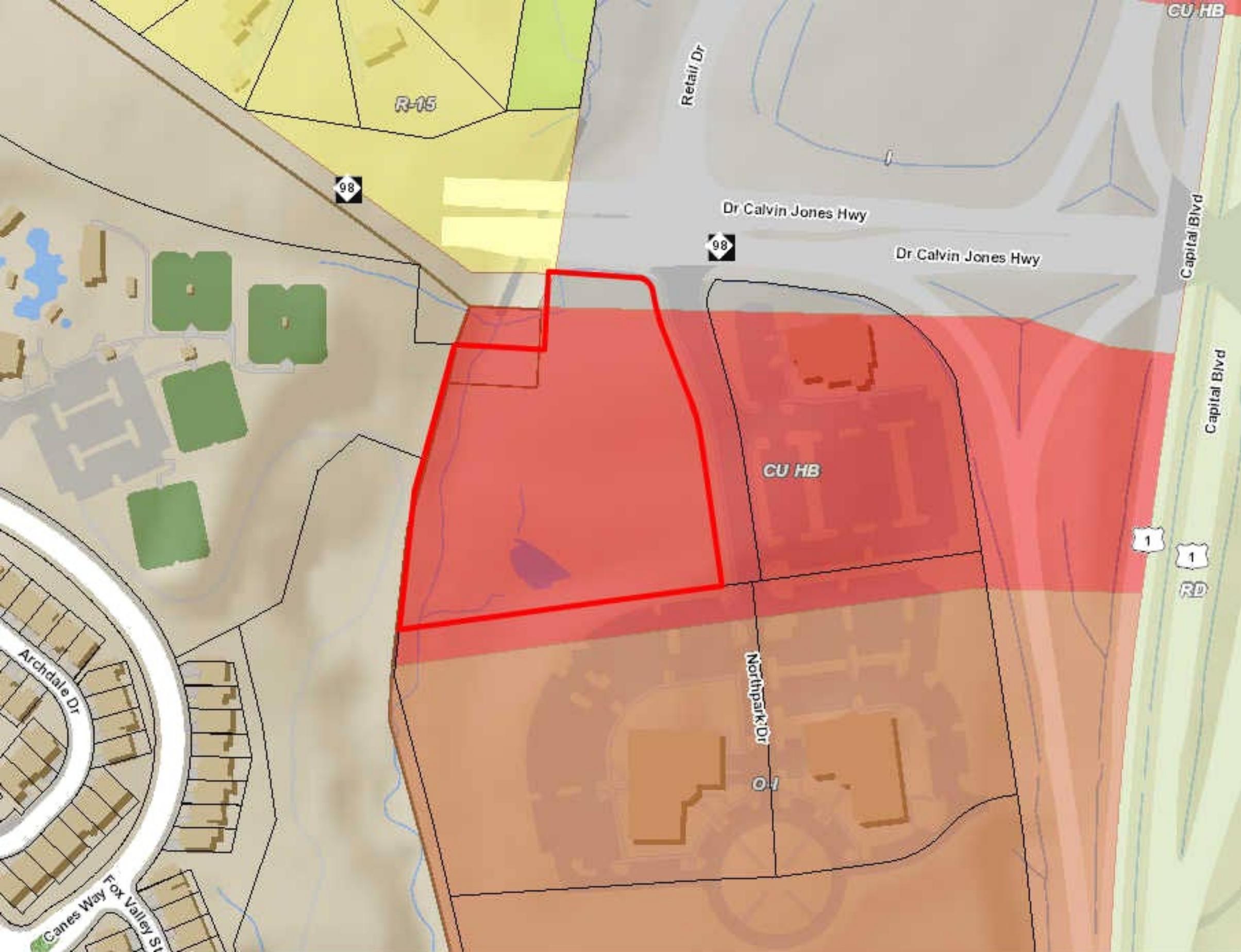
Page 2

4. OTHER BUSINESS:

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B. Discussion on Future Planning Board/Board of Commissioners Items.

5. ADJOURNMENT



R-15

Retail Dr

Dr Calvin Jones Hwy

Dr Calvin Jones Hwy

Capital Blvd

Capital Blvd

CU HB

1

RD

Northpark Dr

Archdale Dr

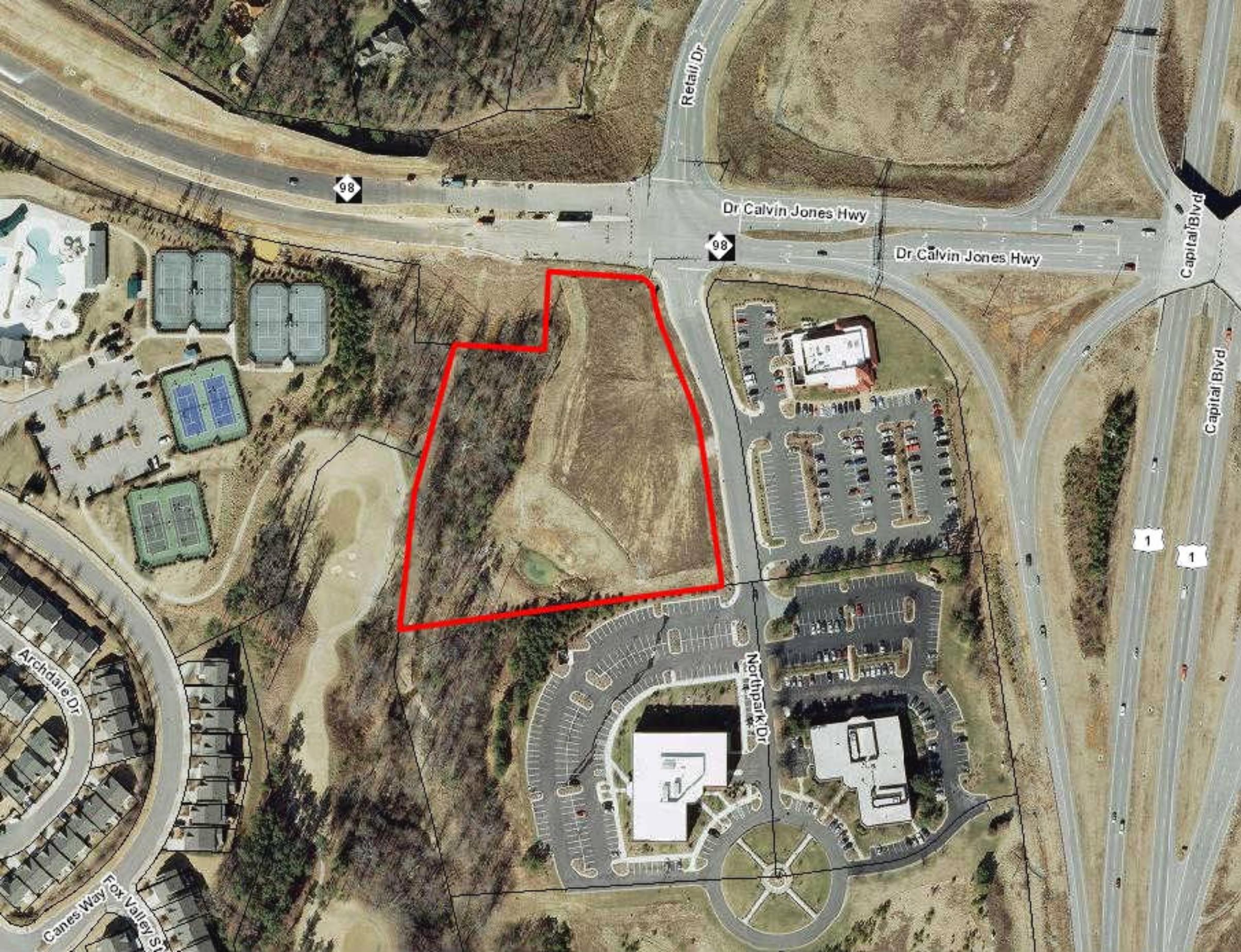
Canes Way
Fox Valley St

98

98

01

CU HB



Retail Dr

98

Dr Calvin Jones Hwy

98

Dr Calvin Jones Hwy

Capital Blvd

Capital Blvd

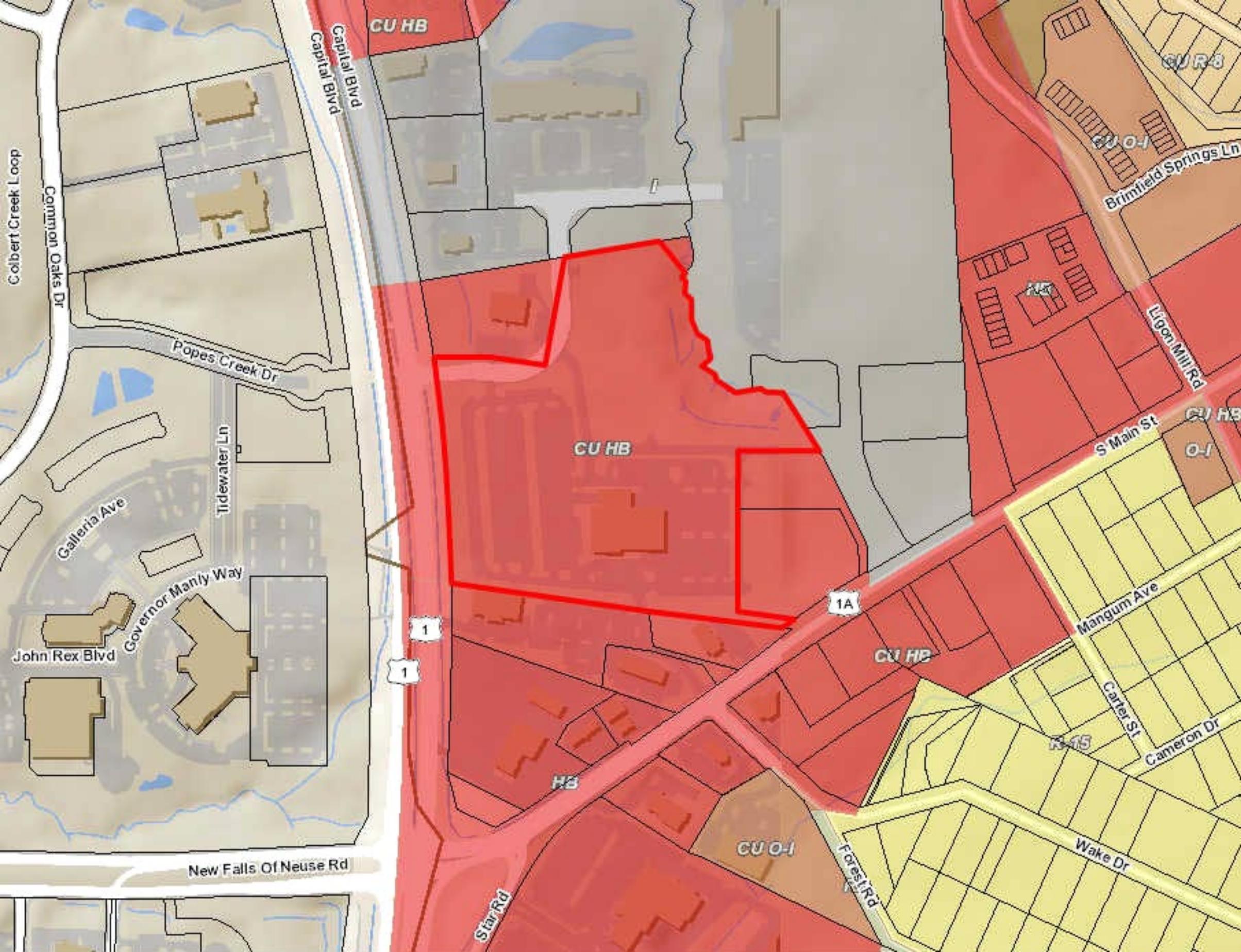
1

1

Archdale Dr

Canes Way
Fox Valley St

Northpark Dr





Capital Blvd

Colbert Creek Loop

Common Oaks Dr

Popes Creek Dr

Brimfield Springs Ln

Ligon Mill Rd

S Main St

Galleria Ave

Tidewater Ln

Governor Manly Way

1A

Mangum Ave

John Rex Blvd

Carter St

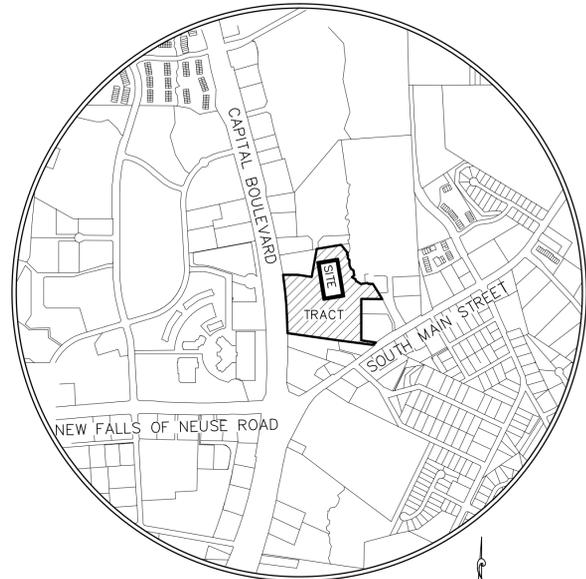
Cameron Dr

New Falls Of Neuse Rd

Wake Dr

Star Rd

Forest Rd



VICINITY MAP
1" = 1,000'

- All construction shall be in accordance with applicable municipality standards, specifications, and details. Work on this project shall also conform to these plans, the latest editions of the North Carolina Department of Transportation (NCDOT) Road and Bridge Specifications, the Road and Bridge Standards, the North Carolina Erosion and Sediment Control Handbook, the North Carolina Erosion and Sediment Control Regulations, the final geotechnical report, and General Design Standard. In the event of conflict between any of these standards, specifications, or plans, the most stringent shall apply.
- The contractor shall be solely responsible for trench safety during all phases of construction.
- The location and size of existing utilities as shown is approximate only. The contractor is responsible for horizontally and vertically locating and protecting all public or private utilities that lie in or adjacent to the construction site. At least 48 hours prior to any demolitions, grading, or construction activity, the contractor shall notify the North Carolina One-Call Utilities Location Service (UCCO) at 1.800.632.4949 for proper identification of existing utilities within the site.
- The contractor shall salvage and protect all existing power poles, signs, manholes, telephone risers, water valves, etc. during all construction phases. The contractor shall repair, at his own expense, any existing utilities damaged during construction.
- Traffic control on public streets shall be in conformance with the traffic control plan, the 'Manual of Uniform Traffic Control Devices', and as further directed by City and State inspectors.
- Any discrepancies found between the drawings and specifications and site conditions or any inconsistencies or ambiguities in drawings or specifications shall be immediately reported to the engineer, in writing, who shall promptly address such inconsistencies or ambiguities. Work done by the Contractor after his discovery of such discrepancies, inconsistencies, or ambiguities shall be done at the contractor's risk.
- A pre-Construction Conference shall be held prior to the start of construction. The contractor shall arrange the meeting with the Town Engineering Divisions.
- Contractor is responsible for verifying all required permits and approvals prior to commencing construction.
- All areas shall be graded for positive drainage, and as shown on these plans. The contractor shall maintain adequate site drainage during all phases of construction. The contractor shall use silt fences (or other methods approved by the engineer and applicable municipality) as required to prevent silt and construction debris from flowing onto adjacent properties. Contractor shall comply with all applicable federal, state, or local erosion, conservation, and siltation ordinances.
- The Contractor shall clear and grub the site and place, compact, and moisture condition all fill per the project geotechnical engineer's specifications. The fill material to be used shall be approved by the Geotechnical Engineer prior to placement.
- Materials used to construct embankments for any purpose, backfill around drainage structures, or in utility trenches or any other depression requiring fill or backfill shall be compacted to 95% of maximum density as determined by the modified proctor test as set out in ASTM Standard 998. The contractor shall, prior to any operations involving filling or backfilling, submit the results of the proctor test together with a certification that the soil tested is representative of the materials. To be used on the project. Tests shall be conducted by a certified materials testing laboratory and the certifications made by a licensed professional engineer representing the laboratory.
- Proposed contours and gutter gradients are approximate. Proposed spot elevations and roadway profiles/super elevations are to be used in case of discrepancy.
- The contractor shall verify and coordinate all dimensions shown, including the horizontal and vertical location of curb inlets and grate inlets and all utilities crossing the storm sewer.
- All curb joints shall extend through the curb. Minimum length of offset joints at radius points is 1.5 feet. All joints shall be sealed with joint sealant.
- All handicap ramping, striping, and pavement markings shall conform to ADA requirements and the 'North Carolina State Building Code, Vol. 1-C Accessibility Code'.
- Water and sewer main/services sizes to the property are to be verified by the contractor prior to the start of construction. The project engineer has attempted to verify sizes from relevant plans, however exact size/dimensions can only be determined from field exposure of the relevant line.
- Contractor shall verify all building dimensions with architectural plans prior to staking building.
- Contractor shall coordinate the sequence of construction with owner.
- Any blasting that may occur during construction shall conform to all local, state, and federal regulations.
- Contractor shall apply 6" minimum topsoil to entire area disturbed.

AREA OF SITE IMPROVEMENTS (SITE AREA)



T.B.M.
TOP CENTER AT BACK OF CURB
ON CATCH BASIN FRAME
ELEV.-351.23'
X-2137092.34 Y-801091.339

SITE DATA

PROJECT NAME: Crossroads Corporate
OWNER: Crossroads Holdings, LLC
PO Box 2069
Wake Forest NC 27588
Tele: 919.793.6930 / Fax: 252.492.0071

PREPARER'S INFO: William G. Daniel & Associates, PA
1150 SE Maynard Road Suite 260
Cary NC 27511
Tele: 919.467.9708 / Fax: 919.460.7585

WAKE COUNTY PIN: 1830.60.9774
TOTAL TRACT AREA: 18.99 Acres
SITE AREA: 2.13 Acres
TOWNSHIP: WAKE FOREST
COUNTY: WAKE
CURRENT ZONING: HIGHWAY BUSINESS CU (RZ-09-02)
WATERSHED: RICHLAND CREEK
EXISTING USE: AUTOMOBILE SALES/SERVICE & VACANT PORTIONS

PROPOSED USE: OFFICE (IN ADDITION TO EX. USE OF SALES/SERVICE)

BUILDING SETBACKS
FRONT: 30'
SIDE: 10'
REAR: 30'

BUILDING AREA (SF)
PROPOSED: 16,516 sf
BLDG HEIGHT: 20' 4"
BLDG STORIES: 1

Parking Calculations based on:
1 spaces/300 sf
1 bicycle rack/50 spaces

TOTAL PARKING SPACES:
REQUIRED: 56 SPACES & 2 BIKE RACKS
PROVIDED: 71 SPACES & 2 BIKE RACKS

OF HC PARKING SPACES
REQUIRED: 3
PROPOSED: 4

EXISTING IMPERVIOUS AREA ALLOCATION FOR VACANT CURBED LOT (LOTS 6 & 7): 3.50 ac.
PROPOSED IMPERVIOUS FOR SITE AREA: 1.76 ac.
REMAINDER OF IMPERVIOUS AREA ALLOCATION FOR VACANT CURBED LOT (LOTS 6 & 7): 1.74 ac.

*THIS PLAN PROPOSES NO PUBLIC ROADS, WATER LINES, SEWER LINES, OR STORM DRAINAGE FACILITIES.

PRELIMINARY

NUMBER	DIRECTION	DISTANCE
L1	N 80°24'12" E	388.67 FT
L2	S 19°59'12" E	33.93 FT
L3	S 11°15'08" E	22.93 FT
L4	S 07°05'59" W	36.70 FT
L5	S 43°08'52" W	45.65 FT
L6	S 37°50'12" E	18.34 FT
L7	S 04°24'55" W	35.38 FT
L8	S 46°53'13" E	27.94 FT
L9	S 00°22'55" E	60.50 FT
L10	S 2°16'21" E	46.29 FT
L11	S 56°24'03" E	30.28 FT
L12	S 56°24'03" E	5.12 FT
L13	S 09°02'04" E	36.44 FT
L14	S 14°38'00" E	21.38 FT
L15	S 50°32'26" W	35.83 FT
L16	S 59°06'51" E	48.21 FT
L17	S 08°20'31" E	17.63 FT
L18	S 57°45'22" E	70.68 FT
L19	N 80°47'14" E	75.83 FT
L20	S 59°35'34" E	22.57 FT
L21	N 75°07'20" E	5.00 FT
L22	S 87°29'04" E	44.86 FT
L23	S 32°03'14" E	189.71 FT
L24	S 32°03'14" E	20.38 FT
L25	N 89°52'49" W	246.02 FT
L26	S 00°07'11" W	177.00 FT
L27	S 00°07'11" W	309.88 FT
L28	S 82°02'02" E	173.94 FT
L29	S 54°38'53" W	43.73 FT
L30	N 82°02'02" W	418.21 FT
L31	N 82°00'31" W	605.84 FT
L32	N 89°12'03" E	96.96 FT
L33	S 89°39'00" E	77.43 FT
L34	S 81°44'21" E	165.28 FT
L35	N 10°08'59" E	341.67 FT

THIS PROPOSED DEVELOPMENT SHALL ADHERE AND CONFORM TO THE APPEARANCE STANDARDS, AS REQUIRED IN ARTICLE VI, SECTION 9 OF THE WAKE FOREST ZONING ORDINANCE.

THESE PLANS ARE DEVELOPED BASED ON THE IMPLEMENTATION OF THE PRIOR SET OF CONSTRUCTION PLANS FOR THIS SITE

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF WAKE FOREST & CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT IF APPLICABLE.

NUMBER	CHORD	DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	N 03°32'45" W		6819.80	356.78	356.74
C2	N 06°21'48" W		6819.80	313.98	313.95



Revisions

DEVELOPER:
Crossroads Holdings, LLC
PO Box 2069
Wake Forest, NC 27588
(919) 604-1646

Project

Crossroads Corporate
11120 Capital Boulevard

Cover

Date

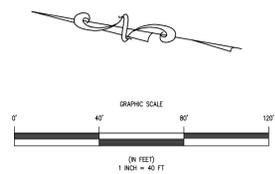
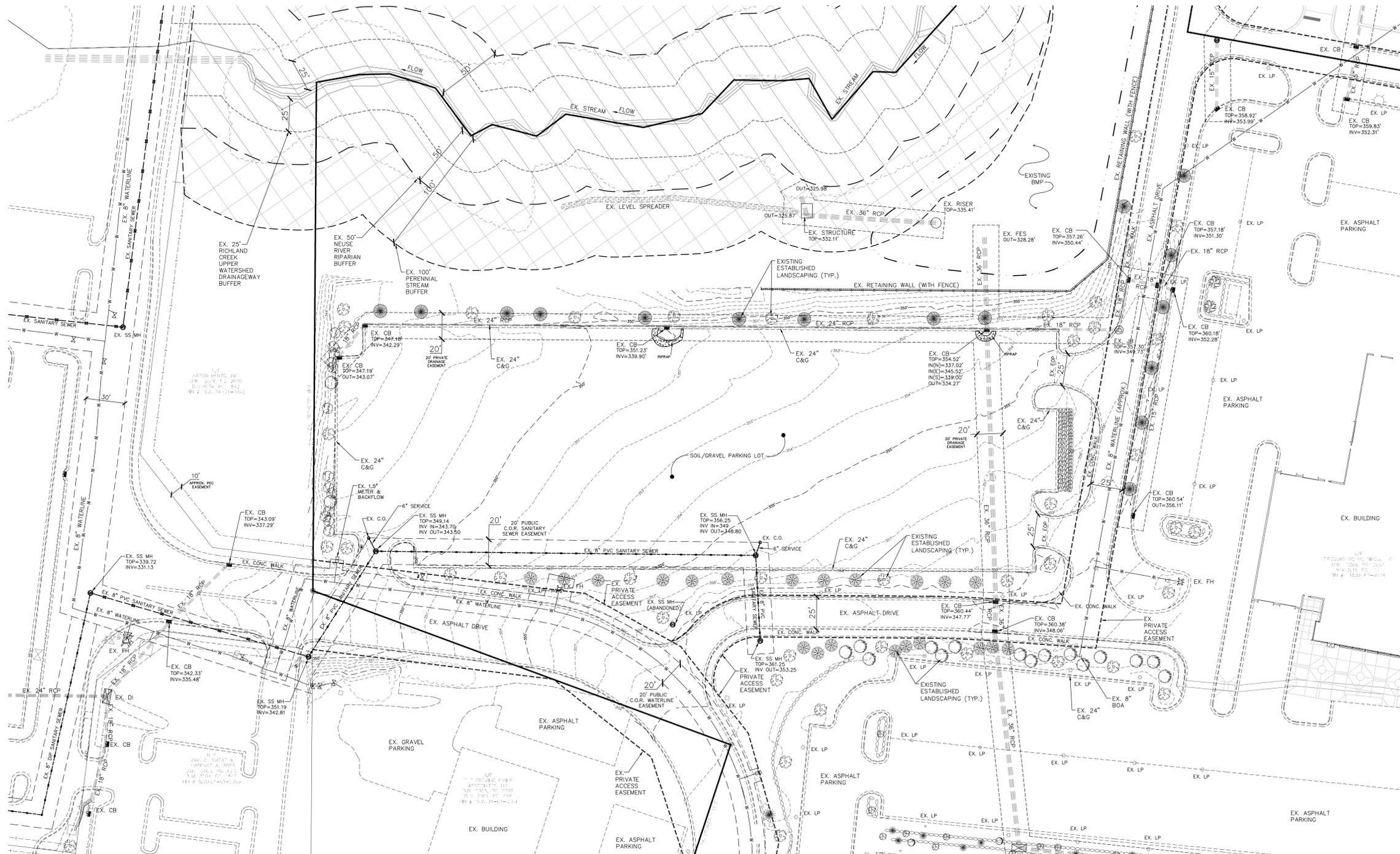
March 6, 2012

Scale

1" = 100'

Sheet

CS - 1



Revisions

DEVELOPER:
 Crossroads Holdings, LLC
 PO Box 2069
 Wake Forest, NC 27588
 (919) 604-1646

Project
 Crossroads Corporate
 11120 Capital Boulevard

Existing Conditions

Date
 March 6, 2012

Scale
 1" = 40'

Sheet

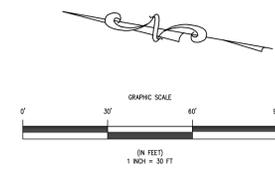
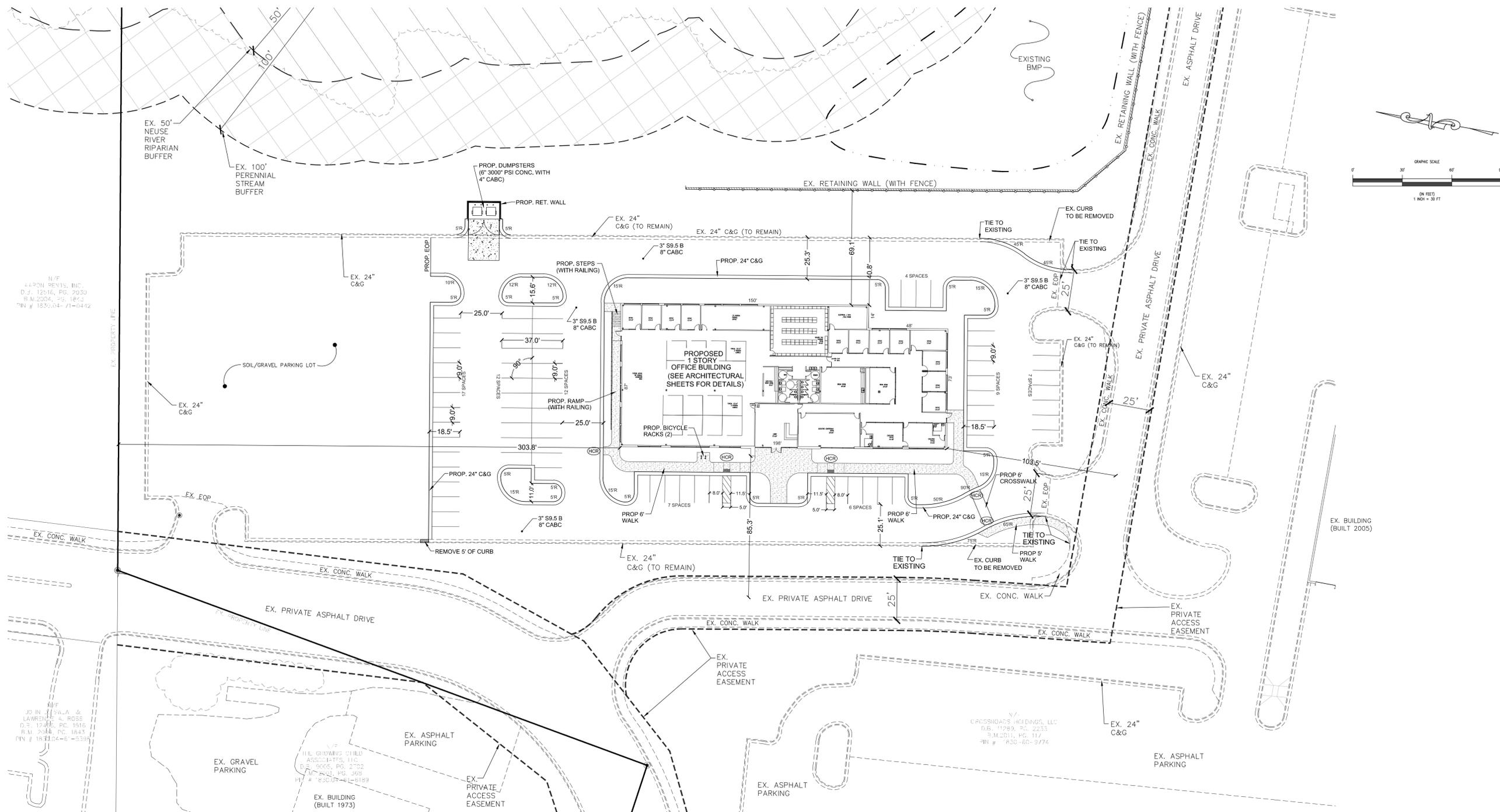
CS - 2

EXISTING TREE LEGEND

-  ZELKOVA
-  CYPRESS
-  MAGNOLIA
-  WILLOW OAK
-  HOLLY
-  BIRCH
-  ELM
-  OAK
-  SHRUB

NOTES:

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH & WAKE FOREST STANDARDS AND SPECIFICATIONS.
2. BOUNDARY WAS PROVIDED BY CAWTHORNE, MOSS, & PANCIERA, P.C. LAND SURVEYORS.
3. NO PORTIONS OF PROPOSED IMPROVEMENTS LOCATED WITHIN 100 YEAR FLOOD PLAIN. (FIRM 3720183000J EFFECTIVE MAY 2, 2006).
4. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1.800.632.4649) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
5. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OR ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
6. ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
7. ALL REPLACEMENT PAVEMENT SHALL BE 8" C&G AND 3" S9.5B
8. ALL DISTANCES ARE TO BACK OF CURB AND FACE OF BUILDING UNLESS OTHERWISE SPECIFIED.
9. BUILDING CONFIGURATION SHOWN IS FOR SITE PURPOSES ONLY. FOR DETAILED INFORMATION ON BUILDING CONFIGURATION SEE ARCHITECTURAL PLANS.



N/F
 4430N REVIS, INC.
 D.S. 12516, PG. 2030
 B.M. 2004, PG. 1843
 PIN # 1830.04-71-0442

N/F
 JO IN SWAN &
 LAWRENCE A. ROSS
 D.S. 12446, PG. 1516
 B.M. 2004, PG. 1843
 PIN # 1830.04-6-5395

N/F
 HIL GROWING CHILD
 ASSOCIATES, LLC
 D.S. 9005, PG. 2732
 B.M. 2004, PG. 3095
 PIN # 1830.07-91-6189

N/F
 CROSSROADS HOLDINGS, LLC
 D.S. 11789, PG. 2233
 B.M. 2011, PG. 117
 PIN # 1830-60-9774

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Revisions

DEVELOPER:
 Crossroads Holdings, LLC
 PO Box 2069
 Wake Forest, NC 27588
 (919) 604-1646

Project
 Crossroads Corporate
 11120 Capital Boulevard

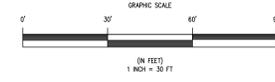
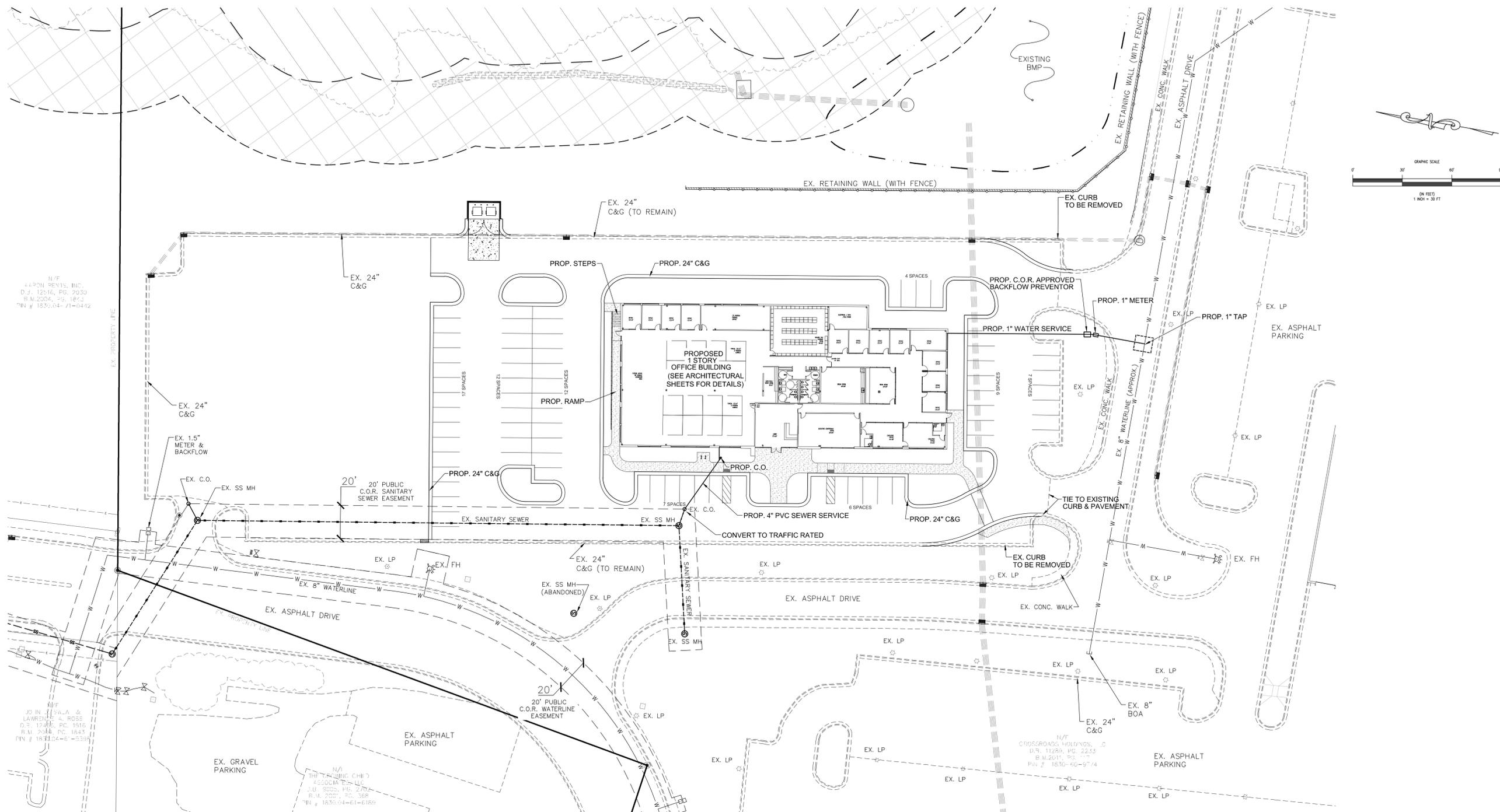
Site Plan

Date
 March 6, 2012

Scale
 1" = 30'

Sheet

CS - 3



Revisions

DEVELOPER:
 Crossroads Holdings, LLC
 PO Box 2069
 Wake Forest, NC 27588
 (919) 604-1646

Project
 Crossroads Corporate
 11120 Capital Boulevard

Utility Plan

Date
 March 6, 2012

Scale
 1" = 30'

Sheet

CS - 4

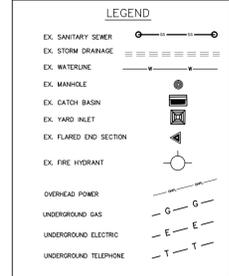
STANDARD UTILITY NOTES (as applicable):

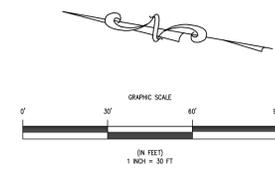
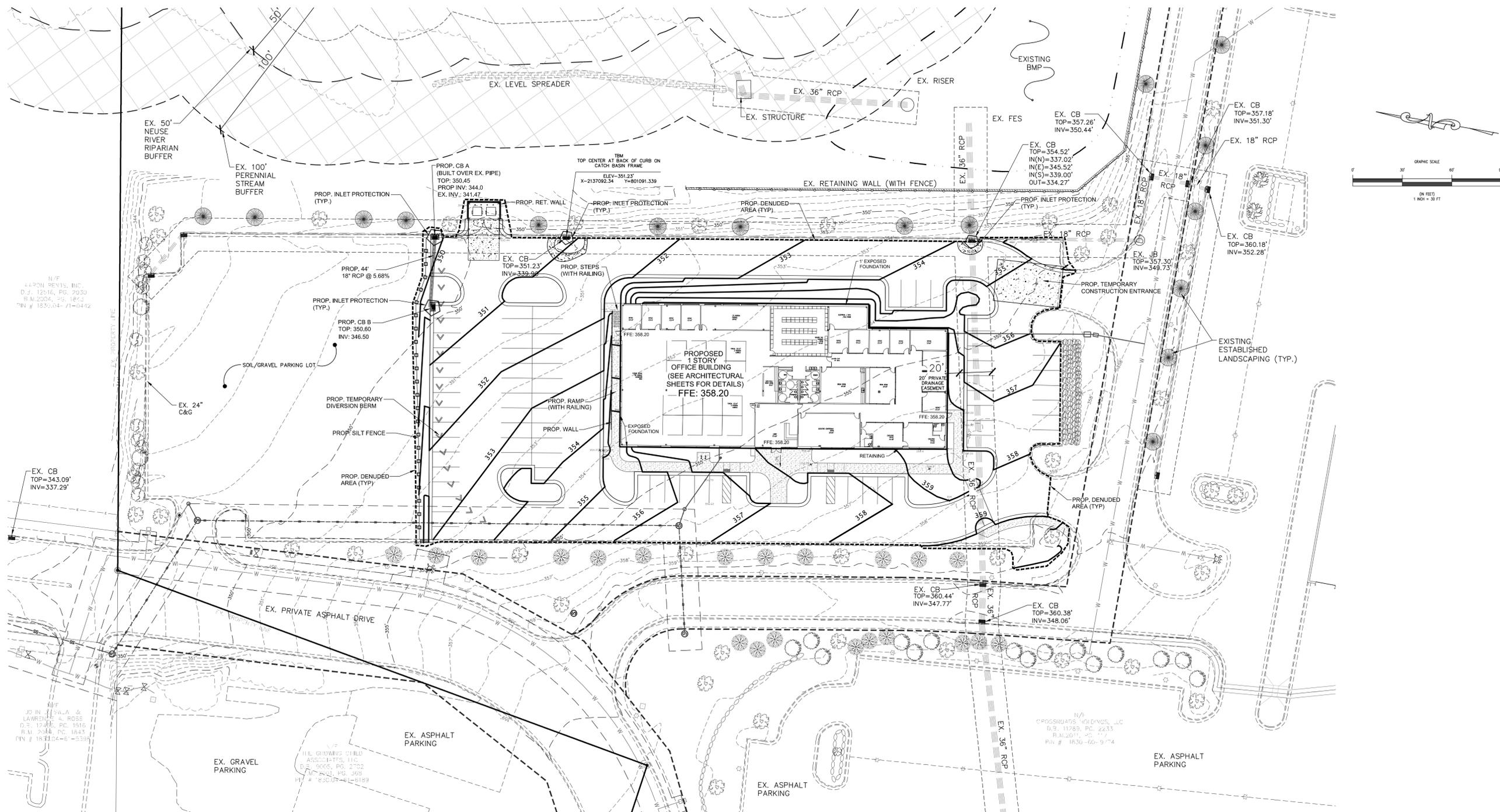
- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
- Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well
 - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49)
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required
- Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department
- 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains
- Install 2" copper water services with meters located at ROW or within a 2x2' Waterline Easement immediately adjacent. *NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure*
- Install 4" PVC sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum
- Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole
- All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
- NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction
- Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Tim Beasley at (919) 250-7825 or timothy.beasley@raleighnc.gov for more information
- Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Helvey at (919) 212-5923 or joanie.helvey@raleighnc.gov for more information

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 - BUILDING CONFIGURATION SHOWN IS FOR SITE PURPOSES ONLY. FOR DETAILED INFORMATION ON BUILDING CONFIGURATION SEE ARCHITECTURAL PLANS.

— UTILITY WARNING —
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

(919) 996.6810





Revisions

DEVELOPER:
 Crossroads Holdings, LLC
 PO Box 2069
 Wake Forest, NC 27588
 (919) 604-1646

Project
 Crossroads Corporate
 11120 Capital Boulevard

Grading / Drainage /
 Erosion Control Plan

Date
 March 6, 2012

Scale
 1" = 30'

Sheet

CS - 5

E&SC CONSTRUCTION SEQUENCE NOTES:

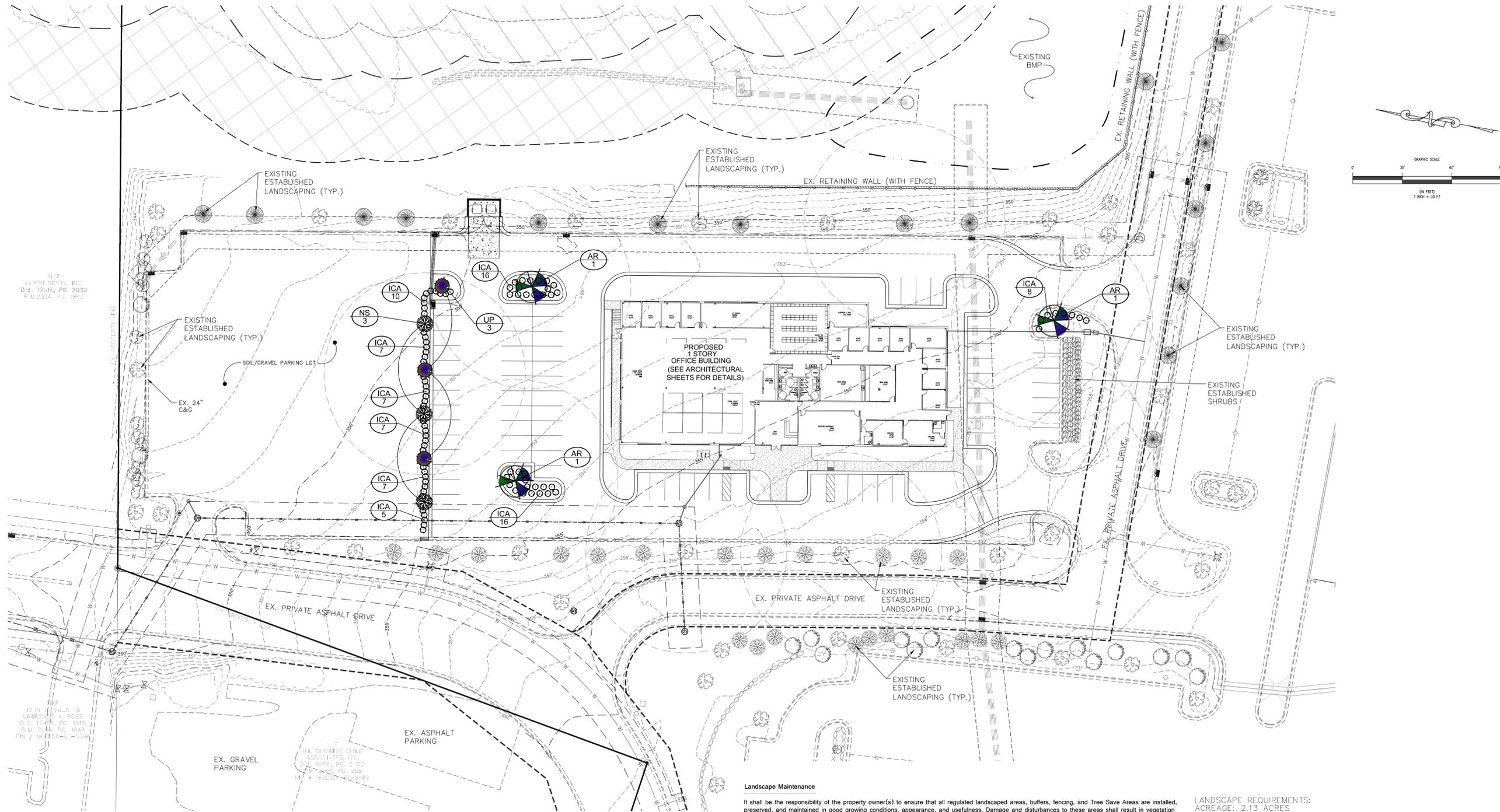
- AFTER THE PRECONSTRUCTION MEETING IS HELD, THE CONTRACTOR CAN INSTALL INITIAL EROSION CONTROL MEASURES ONLY. THIS INCLUDES BUT IS NOT LIMITED TO CONSTRUCTION ENTRANCE, SILT FENCE, PERIMETER DIVERSION DITCH, CHECK DAMS (ROCK OR WADDLE TYPE), TREE PROTECTION FENCE, EXISTING INLET PROTECTION, SKIMMER SEDIMENT BASINS, AND SEDIMENT TRAPS. THEY MAY CLEAR ONLY AS NECESSARY TO INSTALL THESE MEASURES.
- CONTRACTOR IS RESPONSIBLE FOR E&SC WEEKLY INSTALLATION AND MAINTENANCE LOG INCLUDING DATES OF TEMPORARY/PERMANENT GROUND COVER, A RAIN GAGE, COPY OF TOWF SIGNED PLANS, REVISED SIGNED PLANS, NPDES LOG, AND CONSTRUCTION BOX MUST BE PRESENT AND EASILY ACCESSIBLE ONSITE.
- ONCE MEASURES ARE INSTALLED, CONTRACTOR/FRO TO CALL TOWF FOR AN INITIAL INSPECTION. IF SITE PASSES INSPECTION, A CERTIFICATE OF COMPLIANCE WILL BE ISSUED. CONTRACTOR CAN NOW BEING CLEARING, GRUBBING, AND GRADING.
- CONTRACTOR TO MAINTAIN ACCESS ROAD FOR EMERGENCIES AT ALL TIMES.
- PHASE PROJECT TO LEAVE OPEN AS LITTLE GROUND AS POSSIBLE.
- TEMPORARILY SEED, STRAW AND TACK OR HYDROSEED WITHIN 14 DAYS OF ANY PHASE OF GRADING, INCLUDING SLOPES. SEED BASINS AND DITCHES IMMEDIATELY AFTER CONSTRUCTION.
- PRIOR TO REMOVAL OF TEMPORARY MEASURES, TOWN MUST APPROVE REMOVAL. ALL AREAS ABOVE TEMPORARY MEASURE MUST HAVE 85% GROUND COVER.
- TOWF CONSTRUCTION INSPECTOR WILL EVALUATE THE SITE ATLEAST ONCE A MONTH. A COPY OF THE INSPECTION FORM WILL BE EMAILED TO THE FRO. THE WEEKLY EROSION LOG AND NPDES LOG MUST BE ONSITE AND AVAILABLE FOR REVIEW.
- IF THE SITE IS FOUND OUT OF COMPLIANCE A NOTICE OF VIOLATION WILL BE ISSUED GIVING THE CONTRACTOR/FRO 7 WORKING DAYS TO REMEDY THE PROBLEM. IF THE SITUATION IS NOT RESOLVED WITHIN THE TIME PERIOD A FINE MAY BE ISSUED.
- IF SEDIMENT LEAVES THE SITE A FINE MAY BE ISSUED UP TO \$5,000 PER DAY PER VIOLATION. IF SEDIMENT ENTERS A BUFFER, STREAM, OR WETLAND NCDWQ WILL BE NOTIFIED. THEY MAY ISSUE FINES UP TO \$25,000 PER DAY PER VIOLATION.
- CALL THE TOWN UPON COMPLETION FOR A FINAL EROSION INSPECTION. A PUNCHLIST MAY BE GENERATED ADDRESSING ANY REMAINING ITEMS. THERE MUST BE 85% GROUND COVER ON THE ENTIRE SITE PRIOR TO A CERTIFICATE OF OCCUPANCY. IF THE SITE IS FOUND TO BE IN COMPLIANCE AN EROSION CERTIFICATE OF COMPLETION WILL BE ISSUED.

EROSION PERMIT NOTES:

- A LAND DISTURBING (E&S) PERMIT IS REQUIRED FOR PROJECTS OVER 0.50 ACRE. IF MULTIPLE LOTS WITH LAND DISTURBANCE OVER 0.50 ACRE TOTAL ARE EITHER CONTIGUOUS OR NONCONTIGUOUS IN THE SAME SUBDIVISION, BEING TAKEN DOWN BY THE SAME BUILDER/OWNER, A LAND DISTURBING PERMIT IS REQUIRED. THE COST OF THE PLAN REVIEW AND PERMIT IS \$400/ACRE ROUNDED UP (1.1 ACRES = 2 ACRES @ \$400/ACRE = \$800).
- IF ADDITIONAL ACREAGE IS ADDED TO AN EXISTING PERMIT REVISED FORMS, PLANS, AND ANY ADDITIONAL FEES MUST BE SUBMITTED.
- IF OWNERSHIP OF A PROPERTY HAS CHANGED A REVISED FRO MUST BE SUBMITTED.
- IF A PROPERTY IS TAKEN OVER BY THE BANK, THE BANK SHALL CONTACT THE TOWN AND REPAIR ALL EROSION CONTROL MEASURES TO TOWN/NCDENR STANDARDS. THEY SHALL ALSO SUBMIT A NEW FRO FORM.
- IF A PROJECT IS NOT COMPLETE WITHIN TWO YEARS, THE PLANS MUST BE RENEWED AT \$250/ACRE. A REVISED SET OF PLANS MAY BE SUBMITTED IF ACREAGE HAS ALREADY BEEN DEVELOPED AND A CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED.
- AN EROSION PRECONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF WAKE FOREST PRIOR TO START OF ANY WORK, INCLUDING INSTALLATION OF EROSION CONTROL MEASURES, DEMOLITION, CUTTING TREES, AND GRUBBING. CALL ENGINEERING AT (919) 435-9443 TO SET UP A MEETING. ALL PLANS MUST BE SIGNED AND COPIES RETURNED BACK TO THE TOWN 1 WEEK PRIOR TO PRECONSTRUCTION MEETING.
- THE FRO, GENERAL CONTRACTOR, GRADING COMPANY, AND EROSION CONTROL INSTALLER MUST BE PRESENT AT THE PRECONSTRUCTION MEETING.
- THE E&S PERMIT AND NPDES GENERAL STORMWATER PERMIT WILL BE GIVEN OUT AT THIS MEETING.

PROPOSED DENUED AREA: 1.66 ACRES

THIS SITE PLAN ADDS NO EXCESS OF IMPERVIOUS TO THE SITE THAT THE BMP WAS DESIGNED TO TREAT & NO CHANGES ARE BEING MADE TO THE STORMWATER BMP.



N/F
 4430N REVIS, INC.
 D.J. 12516, PG. 2030
 B.M. 2004, P.S. 1673

J.D. IN SWAN &
 LAWRENCE A. ROSS
 O.S. 12416, PG. 1816
 B.M. 2011, PG. 1843
 P.N. # 183124-6-5395

N/F
 HIL GROWING CHILD
 ASSOCIATES, LLC
 B.A. 9005, PG. 2732
 M.C. 2902, PG. 3095
 H.V. # 183017-81-6189

EXISTING TREE LEGEND

- ZELKOVA
- CYPRESS
- MAGNOLIA
- WILLOW OAK
- HOLLY
- BIRCH
- ELM
- OAK
- SHRUB



PROJECT: Crossroads Corporate		PLANT LIST		DATE: 10.03.11			
KEY	QTY	BOTANICAL NAME	COMMON NAME	Cal/Spread	HT.	SPACING	ROOT SOURCE
TREES							
AR	3	ACER RUBRUM	RED MAPLE		2"		B&B
UP	3	ULMUS PARVIFOLIA	LACEBARK ELM		2"		B&B
NS	3	ILEX 'NELLIE R. STEVENS'	NELLIE STEVENS HOLLY		2"		B&B

SHRUBS / GROUNDCOVERS							
ICA	83	ILEX CORNUTA 'CARISSA'	CARISSA HOLLY		18"	3' o/c	

** All ground surfaces, not otherwise required to be paved or planted, shall be maintained with ground cover such as grass or mulch.

Landscape Maintenance

It shall be the responsibility of the property owner(s) to ensure that all regulated landscaped areas, buffers, fencing, and Tree Save Areas are installed, preserved, and maintained in good growing conditions, appearance, and usefulness. Damage and disturbances to these areas shall result in vegetation replacement and/or fines and other penalties. Preservation and maintenance shall include:

- a. Any dead, unhealthy, or missing vegetation, shall be replaced with vegetation that conforms to the standards of this section and the approved site and/or subdivision plan.
- b. All required buffers, streetyards, vehicular use areas, tree save areas and other landscaped areas shall be free of refuse and debris, shall be treated for pest/diseases in accordance with the approved site and/or subdivision plan, and shall be maintained as to prevent mulch, straw, dirt, or other materials from washing onto streets and sidewalks.
- c. The owner(s) shall take actions to protect all plant material from damage during all facility and site maintenance operations. All plant material must be maintained in a way that does not obstruct sight distances at roadways and intersections, obstruct traffic signs or devices, and interfere with the use of sidewalks or pedestrian trails. Plant material, whether located within buffers, tree save areas, or within planted areas (required by the site and/or subdivision plan) shall not be removed, damaged, cut or severely pruned so that their natural form is impaired. Shrubs within vehicular use areas, streetyards, and street fronts may be pruned, but must maintain at least three feet in height.
- d. In the event that existing required vegetation located within any buffers, tree save areas, streetyards, vehicular use or other landscape areas poses an immediate or imminent threat to improved structures on private property or public property, excessive pruning or removal of the vegetation may be allowable provided authorization is obtained from the Administrative Officer, and the performance standard of the landscape area is maintained consistent with this section. Replacement vegetation may be required as a condition of the permit.
- e. In the event that any vegetation or physical element functioning to meet the standards of this section is severely damaged due to an unusual weather occurrence or natural catastrophe, or other natural occurrence, the owner may be required to replant if the requirements of the section are not being met. Replacement vegetation shall conform to the standards of this section and the approved site and/or subdivision plan.
- f. Landscape Maintenance Plan. The following statement shall be placed on the landscape sheet prior to plan approval. This statement must be individualized based on each site and/or subdivision plan. This should be done by a certified landscape architect.
 "The owners of the property and their agents, heirs, or assigns shall be responsible for the installation, preservation, and maintenance of all planting and physical features shown on this plan. The owners shall be responsible for maintenance of the vegetation, including but not limited to:
 1. Fertilization (optional).
 2. Pruning within limits (applicant must define limits).
 3. Pest control.
 4. Mulching.
 5. Mowing (if any).
 6. Protection of the root zones from equipment, construction and related materials, etc.
 7. Method of irrigation.
 8. Other continuing maintenance operations.
 Failure to maintain all plantings in accordance with this plan may constitute a violation of this Ordinance and may result in fines."

LANDSCAPE REQUIREMENTS:
 ACREAGE: 2.13 ACRES
 BASELINE TREE COVERAGE=19 CANOPY TREES / 19 UNDERSTORY REQUIRED
 (EXISTING PLANTINGS TO SATISFY)

STREETYARD REQUIREMENTS: EXISTING

VEHICULAR USE AREA REQUIREMENTS:
 EAST, WEST, AND SOUTH BOUNDARIES ARE SATISFIED WITH EXISTING VEGETATION. THE NORTHERN BOUNDARY PROPOSES AN EVERGREEN HEDGE WITH A MIX OF CANOPY AND UNDERSTORY TREES.

Revisions

DEVELOPER:
 Crossroads Holdings, LLC
 PO Box 2069
 Wake Forest, NC 27588
 (919) 604-1646

Project
 Crossroads Corporate
 11120 Capital Boulevard

Landscape Plan

Date
 March 6, 2012

Scale
 1" = 30'

Sheet



TOWN of WAKE FOREST

TECHNICAL REVIEW COMMITTEE

WAKE FOREST TOWN HALL
301 S. BROOKS STREET
2nd FLOOR, ROOM 201

THURSDAY, APRIL 19, 2012 at 11:00 A.M. **MEETING AGENDA**

Meeting Format:

- The planner assigned to the project gives a brief overview and brings up any major issues that need the group's consensus.
 - In order, each TRC member/department representative provides their written comments to the planner and brings up any major issues that need discussing concerning their department.
 - Comments to the planner can be provided prior to the meeting, but please have written comments available at the meeting should they need to be amended.
 - At the conclusion of the project discussed, there should be a consensus to decide if the item should come back to the TRC or not based on the comments received.
 - This allows the planner to prepare a comprehensive staff comments document that can be sent to the appropriate engineer/development firm.
- Department Members: Planning, Public Works, Engineering, Administration, City of Raleigh
Utilities, Inspections, and Police

1. CALL TO ORDER

2. ITEMS FOR REVIEW

A. Master Plan – Shoppes @ Caveness

Size – 35.47 acres

Land Use – Flex / Retail / Office / Institutional

Zoning – C.U. HB

Location – Caveness Farms Ave and Capital Blvd

Applicant – Stewart Engineering

Planner – Charlie Yokley

B. Master Plan/Rezoning – Home Garden Subdivision

Size – 2.02 acres

Land Use – Single-Family Residential

Zoning – R-15 (Requesting rezoning to C.U. R-10)

Location – Forest Drive

Applicant – Joe Procopio

Planner – Charlie Yokley

C. Construction Plan – SP-12-04: Wake EMC Heritage Substation

Size – 1.586 acres
Land Use – Electrical Substation
Zoning – HB
Location – 3209 Heritage Trade Drive
Applicant – Wake EMC
Planner – Charlie Yokley

D. Construction Plan – SP-12-05: Pep Boys

Size – .67 acres
Land Use – Auto Repair
Zoning – CU-HB
Location – Gateway Commons Drive
Applicant – Pep Boys
Planner – Charlie Yokley

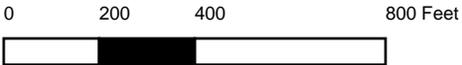
4. OTHER BUSINESS:

- A. Report from City of Raleigh
- B. Discussion on Future Planning Board/Board of Commissioners Items.

5. ADJOURNMENT



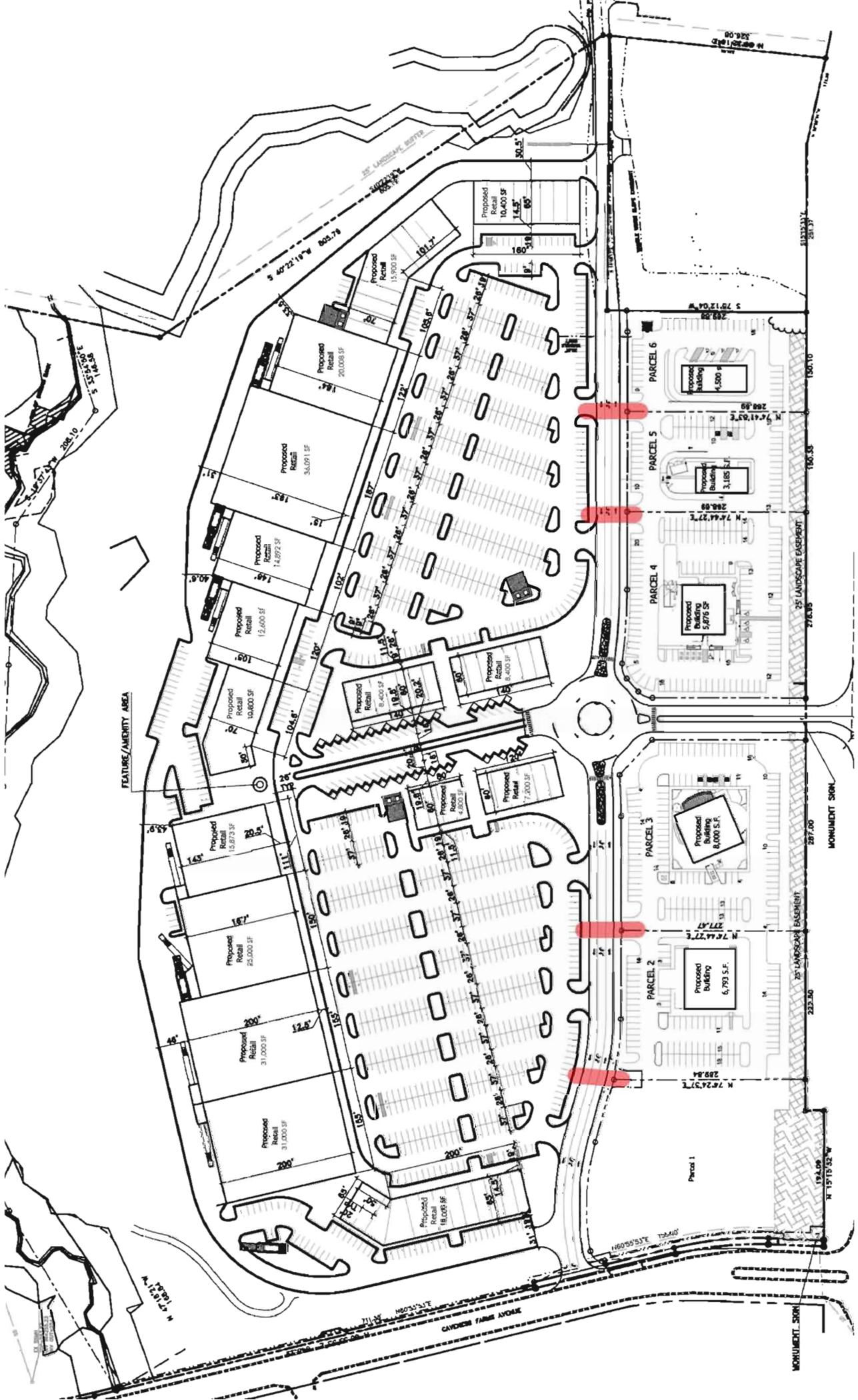
Shoppes @ Caveness MP



Original Conditions of SUP for Shoppes @ Caveness (2004)

1. Construct a multi-purpose trail from the shopping center, through the residential development area and connected to Ligon Mill Road.
2. Grading shall not occur within zone 1 of the Neuse River Basin Buffer except as is necessary to provide access via a multi-purpose trail.
3. The developer may, at the Town's discretion, be required to prepay the sewer availability fees.
4. Provide all roadway improvements as recommended in the Traffic Impact Analysis and approved by the NCDOT.
5. Construct Caveness Farms Avenue to the intersection with Ligon Mill Road.
6. Construct the western two lanes of Ligon Mill Road from Caveness Farms Avenue south to the current end of pavement. These two lanes will provide two-direction traffic with the eastern curb becoming the edge of the planted median when the eastern two lanes of Ligon Mill Road are constructed.
7. Provide cross-access to adjacent properties to reduce repetitive trips and to provide alternative routes of ingress and egress.
8. Design elements shall be incorporated into the development and any outparcels to create an overall development identity that relates to the Town of Wake Forest.
 - a. Architectural Character: Relate the character of the development to some signature features found in Wake Forest structures. While developing a uniform architectural style, modern design elements may be interspersed sparingly to enhance the contemporary interpretation.
 - b. Spatial Relationships:
 - i. Commercial areas shall relate to the residential component in terms of visual and access corridors.
 - ii. Buildings shall be designed in a manner to present a pleasing front on US-1.
 - iii. Outparcel parking shall be located in side or rear yards and parking bays shall be oriented parallel to US-1 to the maximum extent possible.
 - iv. Provide community and public spaces such as water features, patio seating areas, gardens, etc.
 - c. Accessibility and Connectivity:
 - i. Development layout shall provide for connectivity within the context of the surrounding area, development areas and outparcels.
 - ii. Provide sidewalks along the full length of any façade featuring a customer entrance and any façade abutting a public parking area.
 - iii. Provide an internal pedestrian walkway system and interconnect the internal sidewalk system with public sidewalks along public streets.
 - iv. Utilize special paving materials to distinguish pedestrian walkways from vehicle driving surfaces.
 - v. Provide amenities/facilities for bicycle and future transit modes of travel/ Provide class II, short term bicycle parking close to destinations at a rate of one bicycle space per 20 automobile parking spaces.
 - vi. Weather protection features, such as awnings, canopies or porticos shall be provided over all public entries and exits.
 - vii. Interconnect outparcel vehicle access areas.

- viii. Outdoor display, sale of merchandise or storage shall not utilize required parking spaces or block sidewalks, parking aisles, or fire lanes and such area shall be identified on site plans.
- d. Uniformity:
 - i. Landscape plans shall provide for unified street edges and a signature development design.
 - ii. Parking lot, accent and security lighting shall be uniform throughout the development and contribute to the overall development identity.
 - iii. Uniform signage shall be incorporated into the design process.
 - iv. Signature design elements shall be repeated in the various development areas.
- 9. Grading shall not occur in the US 1 rights-of-way and mature vegetation shall be preserved in the US 1 streetyard.



SHOPPES AT CAVENESS FARMS

WAKE FOREST, NORTH CAROLINA

MASTER PLAN AMENDMENT

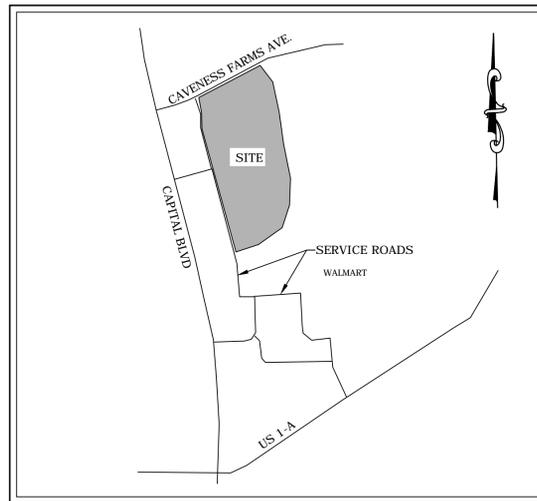
APRIL 3, 2012

DRAWING INDEX:

REF NO.	TITLE
COV	COVER SHEET
C100	EXISTING CONDITIONS
MP100	MASTER PLAN

SITE PACKAGE

COV	COVER SHEET
C100	EXISTING CONDITIONS
MP100	MASTER PLAN



VICINITY MAP
1"=1000'

SITE DATA TABLE

AREA OF EXISTING TRACT: 35.47 ACRES
 PROPOSED AREAS OF NEW TRACTS:
 TRACT 1: 20.98 ACRES
 TRACT 2: 6.75 ACRES
 TRACT 3: 7.74 ACRES
 EXISTING/PROPOSED ZONING: CU HB
 EXISTING USE: VACANT
 PROPOSED USE: ELDER CARE COMMUNITY

DEVELOPER INFORMATION: HILLCREST CONVALESCENT CENTER, INC.
 1417 PETTIGREW STREET
 DURHAM, NC 27705-4820

OWNER INFORMATION: WEINGARTEN INVESTMENTS, INC.
 PO BOX 450233
 ATLANTA, GA 31145-0233

ZONING - CU-HB

- CONDITIONAL USE PERMIT NUMBER: RZ-04-13
 DEVELOP A UNIFIED DEVELOPMENT PLAN TO PROVIDE FOR DEVELOPMENT THAT IS SCALED, ORIENTED AND DESIGNED IN A MANNER THAT PRODUCES A SETTING IN HARMONY WITH THE TOWN OF WAKE FOREST.
- DESIGN ELEMENTS SHALL BE INCORPORATED INTO THE DEVELOPMENT AND ANY OUTPARCELS TO CREATE AN OVERALL DEVELOPMENT IDENTITY THAT RELATES TO THE TOWN OF WAKE FOREST.
 - ARCHITECTURAL CHARACTER: RELATE THE CHARACTER OF THE DEVELOPMENT TO SOME SIGNATURE FEATURES FOUND IN WAKE FOREST STRUCTURES. WHILE DEVELOPING A UNIFORM ARCHITECTURAL STYLE, MODERN DESIGN ELEMENTS MAY BE INTERSPERSED SPARINGLY TO ENHANCE THE CONTEMPORARY INTERPRETATION.
 - SPATIAL RELATIONSHIPS: COMMERCIAL AREAS SHALL RELATE TO THE RESIDENTIAL COMPONENT IN TERMS OF VISUAL AND ACCESS CORRIDORS. WHEREVER POSSIBLE, BUILDINGS SHOULD BE LAID OUT IN SMALLER BLOCKS, NOT IN LONG UNINTERRUPTED GROUPS TYPICAL OF STRIP SHOPPING CENTERS.
 - CONNECTIVITY: DEVELOPMENT LAYOUT SHALL PROVIDE FOR CONNECTIVITY (AUTOMOBILE, PEDESTRIAN, AND BICYCLE) WITHIN THE CONTEXT OF THE SURROUNDING AREA, DEVELOPMENT AREAS AND OUTPARCELS. IF REASONABLY FEASIBLE FROM AN ENGINEERING, TOPOGRAPHIC, AND ENVIRONMENTAL PERSPECTIVE, PROVIDE AUTOMOBILE ACCESS FROM THE PROPERTY TO THE RESIDENTIAL PROPERTY ABUTTING THE PROPERTY TO THE EAST.

Rev #	Revision	Date

Developer
 Hillcrest Convalescent Center, Inc.
 1417 Pettigrew Street
 Durham, NC 27705-4820

SHOPPES AT
 CAVENESS FARMS
 WAKE FOREST, NC
 MASTER PLAN AMENDMENT

Project No. C12019

421 FAYETTEVILLE STREET
 SUITE 400
 RALEIGH, NC 27601
 T 919.380.8750
 F 919.380.8752
 FIRM LICENSE NO. C101
STEWART



PRELIMINARY - DO NOT USE FOR CONSTRUCTION

Project No. C12019
 Drawn By JBG
 Checked By GPW
 Issue Date: 04.04.12

COV

OWNER:

WEINGARTEN INVESTMENT, INC.
 P.O. BOX 450233
 ATLANTA, GA 31145-0233

CONTACT:
 MIKE KANEY
 OFFICE: 919.845.4950
 mkaney@weingarten.com

DEVELOPER:

HILLCREST CONVALESCENT CENTER
 1417 WEST PETTIGREW ST.
 DURHAM, NC 27705

CONTACT:
 TED SMITH
 OFFICE: 919.286.7705 EXT. 1123
 tedsmith@hillcrestnc.com

LANDSCAPE ARCHITECT:

STEWART
 421 FAYETTEVILLE STREET, SUITE 400
 RALEIGH, NC 27601

CONTACT:
 GARRY WALSTON, RLA
 P: 919.866.4818
 F: 919.719.1049
 gwalston@stewart-eng.com

SURVEYOR:

STEWART
 421 FAYETTEVILLE STREET, SUITE 400
 RALEIGH, NC 27601

CONTACT:
 Frank Mundy, II, PLS
 P: 919.866.4806
 F: 919.380.8752
 fmundy@stewart-eng.com

APPROVAL
 BY THE WAKE FOREST BOARD
 OF COMMISSIONERS

DATE _____

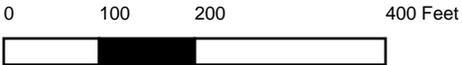
RECOMMENDATION FOR APPROVAL BY THE WAKE FOREST
 PLANNING BOARD

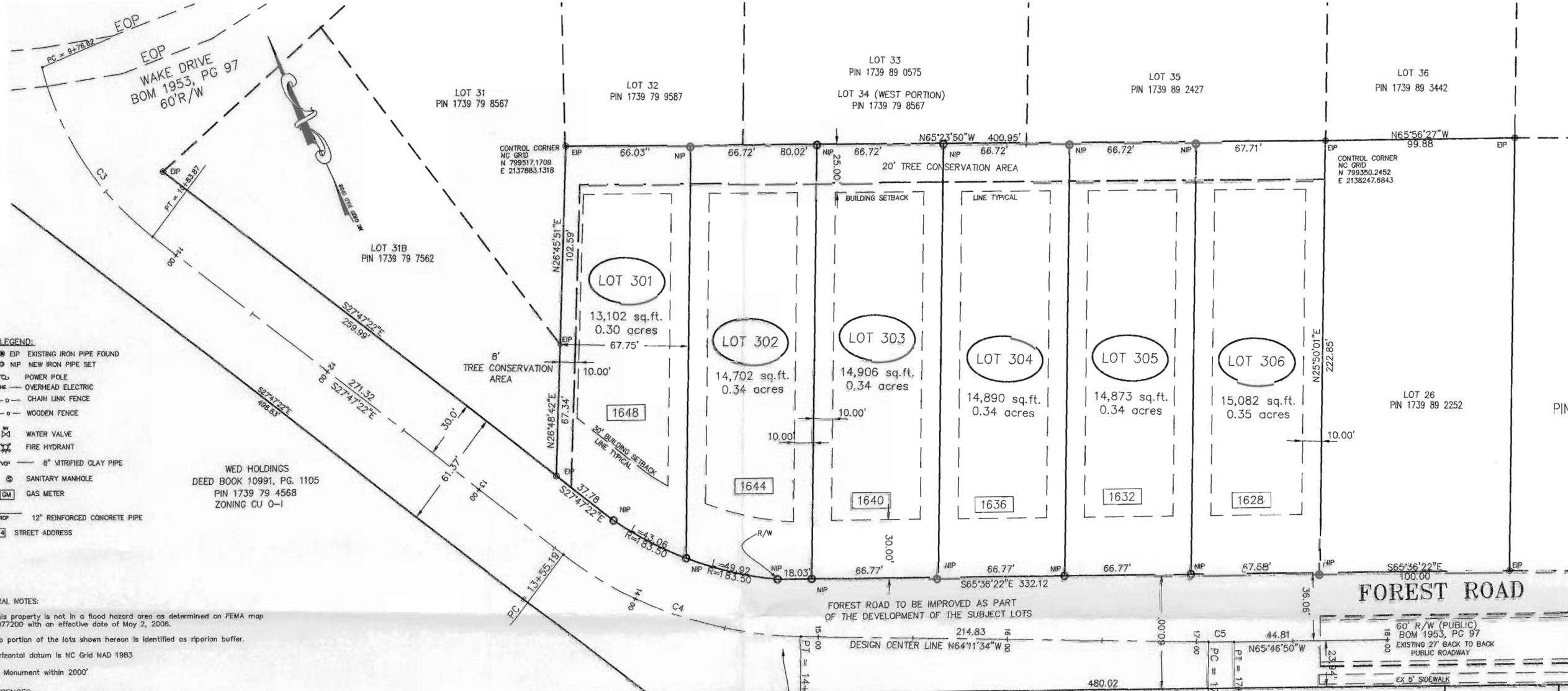
DATE _____

COVER SHEET



Home Gardens S/D



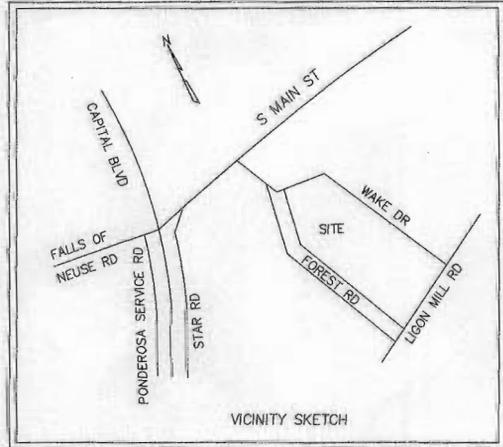


- LEGEND:**
- EIP EXISTING IRON PIPE FOUND
 - NIP NEW IRON PIPE SET
 - ⊕ POWER POLE
 - OVERHEAD ELECTRIC
 - CHAIN LINK FENCE
 - WOODEN FENCE
 - ⊕ WATER VALVE
 - ⊕ FIRE HYDRANT
 - 8" VITRIFIED CLAY PIPE
 - ⊕ SANITARY MANHOLE
 - ⊕ GAS METER
 - 12" RCP 12" REINFORCED CONCRETE PIPE
 - STREET ADDRESS

WED HOLDINGS
DEED BOOK 10991, PG. 1105
PIN 1739 79 4568
ZONING CU 0-1

- GENERAL NOTES:**
1. This property is not in a flood hazard area as determined on FEMA map 3720077200 with an effective date of May 2, 2006.
 2. No portion of the lots shown hereon is identified as riparian buffer.
 3. Horizontal datum is NC Grid NAD 1983
 4. No Monument within 2000'

REFERENCES:
RECORDED IN THE WAKE COUNTY REGISTER OF DEEDS
BM 1953, PG. 097, BM 2011, PG 552
DEED BOOK 14187, PG. 2060



SITE DATA TABLE

WAKE COUNTY P.I.N.	1739-79-8399	DB 14187	PG 2060
	1739-79-9384	DB 14187	PG 2060
	1739-89-0370	DB 14187	PG 2060
	1739-89-1266	DB 14187	PG 2060
	1739-89-1266	DB 14187	PG 2060
BOOK OF MAPS 2011	PAGE 0552	(PARENT TRACTS)	
ZONING	R15		
ADDRESS	FOREST ROAD, WAKE FOREST		
AREA OF TRACT	88,030 S.F. = 2.02 AC		
TRACT MIN. LOT WIDTH PROPOSED	66'		
LOT AREAS	AS LABELED		
RIGHT OF WAY DEDICATION	0 SF / 0 AC		
REQUIRED BUILDING SETBACKS:			
FRONT YARD:	30 FEET		
R/SIDE YARD:	10 FEET		
L/SIDE YARD:	10 FEET		
REAR YARD:	25 FEET		

REZONING EXHIBIT
HOME GARDENS SUBDIVISION
PROPERTY OF
IMPERIAL CUSTOM HOMES, INC

TOWN OF WAKE FOREST, WAKE CO. NC
MARCH 23, 2012 SCALE 1" = 40'

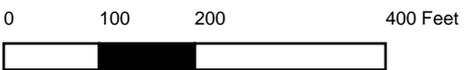
GRAPHIC SCALE
0 20 40 80
(IN FEET)
Scale: 1 inch = 40 ft.

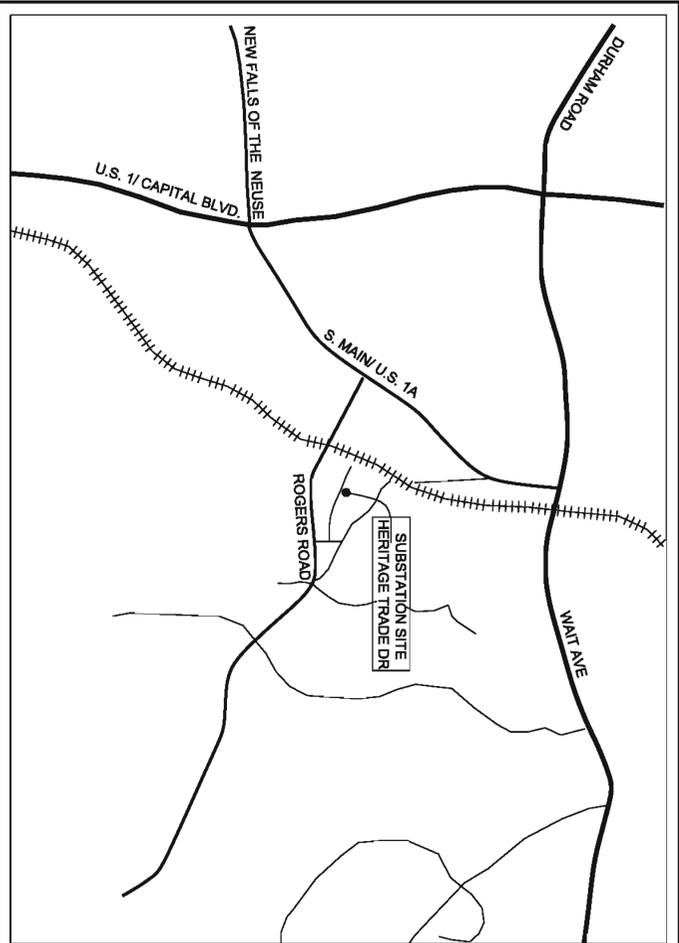
Prepared by
Aiken & Yelle Associates, PA
Professional Engineers & Land Surveyors

AYES
3755 Benson Drive
Raleigh, North Carolina 27609
Ph: (919) 877-9992 Fx: (919) 877-9979
ayes@raleigh.twcbc.com
Corporate License No. C-1024



Wake EMC





VICINITY MAP
SCALE: 1" = 2000'

DRAWING LIST			
No.	DATE	REVISION	DESCRIPTION
S1	04/05/12	0	VICINITY MAP
S2	04/05/12	0	EXISTING CONDITIONS
S3	04/05/12	0	SITE PLAN
S4.1.P1	04/05/12	0	GRADING & EROSION CONTROL PLAN: PHASE 1
S4.1.P2	04/05/12	0	GRADING & EROSION CONTROL PLAN: PHASE 2
S4.2	04/05/12	0	EROSION CONTROL DETAILS
S4.3	04/05/12	0	EROSION CONTROL SPECIFICATIONS
S5	04/05/12	0	UTILITY PLAN
S6	04/05/12	0	FINAL GRADING PLAN
S7	04/05/12	0	TRANSPORTATION, TRAFFIC CONTROL & STREET PLAN
S8	04/05/12	0	LANDSCAPING PLAN
S9	04/05/12	0	DEMOLITION PLAN

HERITAGE 115 TO 15KV SUBSTATION HERITAGE TRADE DRIVE WAKE FOREST, NC



THESE PLANS HAVE BEEN APPROVED FOR CONSTRUCTION BY THE TOWN OF WAKE FOREST.

DRAWING No.
S1

OWNER CERTIFICATE

OWNER HEREBY CERTIFIES AND AGREES TO TAKE SUCH ACTION AS MAY BE REQUIRED BY THE TOWN OF WAKE FOREST TO CORRECT ANY ERRORS, OMISSIONS OR NON-COMPLIANCE WITH TOWN STANDARDS AND/OR CONDITIONS DESCRIBED IN THIS CONSTRUCTION PLAN, INCLUDING RE-SUBMISSION OR RE-EXECUTION OF THIS CONSTRUCTION PLAN WITH THE APPROPRIATE CORRECTIONS AND/OR REVISIONS.

REVIEW ENGINEER DISCLAIMER

EXECUTION OF THIS CONSTRUCTION PLAN BY THE REVIEW ENGINEER FOR THE TOWN OF WAKE FOREST IN NO WAY LIMITS THE RESPONSIBILITY OF THE OWNER AND ENGINEER OF RECORD WITH REGARD TO COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL STANDARDS, AND/OR CONDITIONS.

TOWN STANDARDS

ALL PUBLIC FACILITIES, INCLUDING UTILITIES, SIDEWALKS, AND HANDICAP RAMPS ARE TO BE CONSTRUCTED ON ALL STREETS AS SPECIFIED BY TOWN STANDARDS. THESE FACILITIES HAVE BEEN APPROVED BY THE TOWN OF WAKE FOREST AND SHALL BE SO INSTALLED UNLESS A CHANGE IS APPROVED BY THE TOWN OF WAKE FOREST.

ENGINEERING DEPARTMENT _____ DATE _____

PUBLIC WORKS DEPARTMENT _____ DATE _____

EROSION & SEDIMENT CONTROL _____ DATE _____

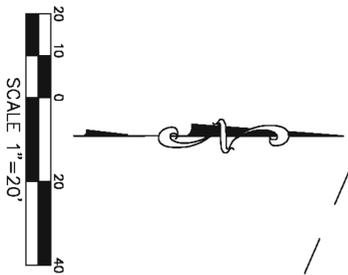
FIRE PREVENTION _____ DATE _____

ACCESSIBILITY _____ DATE _____

PLANNING DEPARTMENT _____ DATE _____

CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT _____ DATE _____

Power Services	
<i>Engineering & Management Services</i>	
ELECTRICAL SEAL _____ CIVIL SEAL _____	
HERITAGE 115/15KV SUBSTATION PHASE ONE	
DRAWING LIST & VICINITY MAP	
OWNER:	WAKE ELECTRIC MEMBERSHIP CORPORATION
ADDRESS:	201 PARK AVENUE 27086 WAKE FOREST, NORTH CAROLINA
PHONE:	919-296-4690
EMAIL ADDRESS:	WWW.WEMC.COM
CONSULTANT:	POWER SERVICES 1911 E. WILSON ROAD RALEIGH, NC 27608 TEL: 919-296-6900 FAX: 919-296-6999
DRAWN: CJA	APPROVED: HMT
CHECKED: HMT	DATE: 04/05/12
	SCALE: AS SHOWN

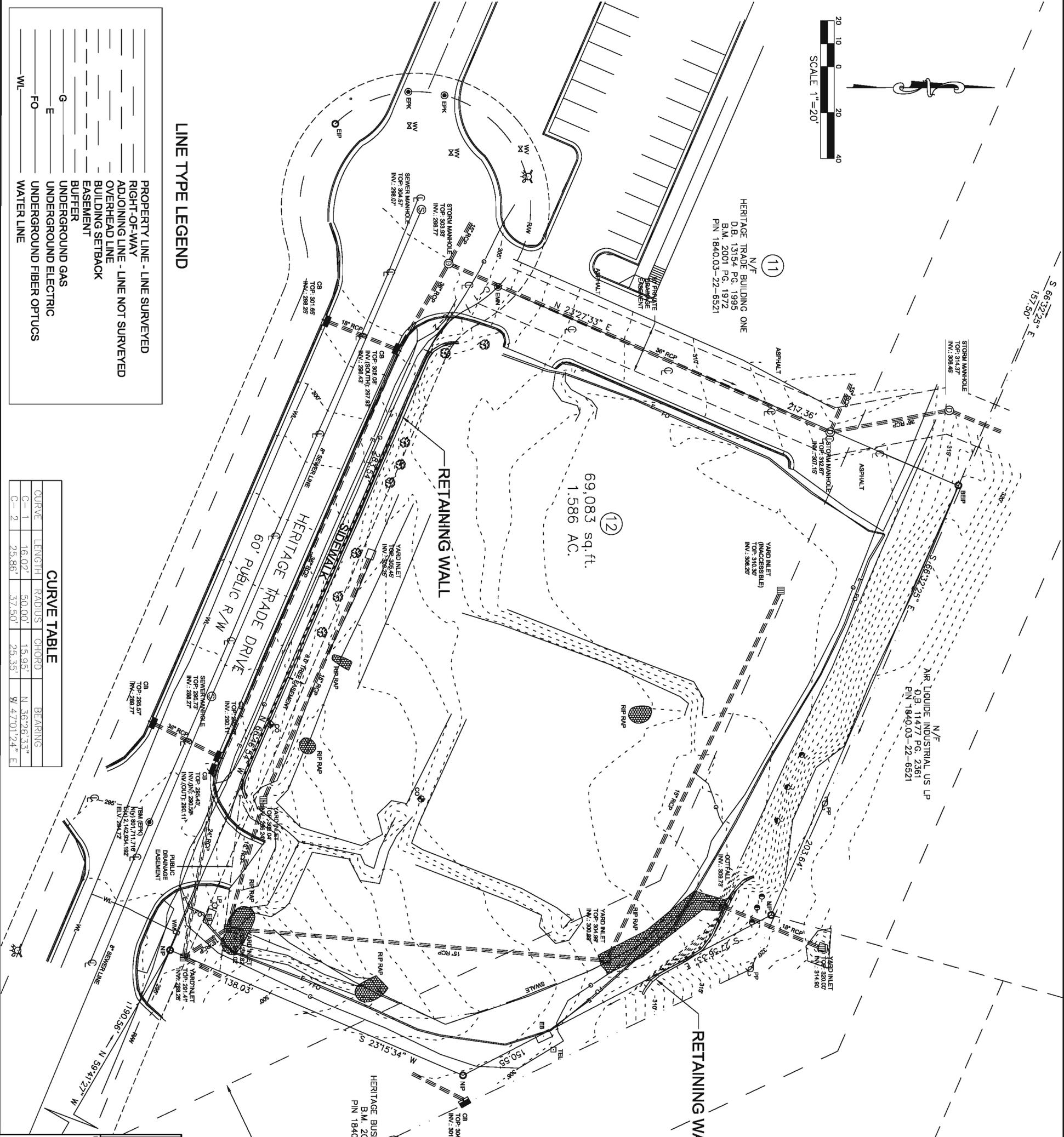


LINE TYPE LEGEND

PROPERTY LINE - LINE SURVEYED
 RIGHT-OF-WAY
 ADJOINING LINE - LINE NOT SURVEYED
 OVERHEAD LINE
 BUILDING SETBACK
 EASEMENT
 BUFFER
 UNDERGROUND GAS
 UNDERGROUND ELECTRIC
 UNDERGROUND FIBER OPTICS
 WATER LINE

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD	BEARING
C-1	16.02'	50.00'	15.95'	N 36°26'33" E
C-2	25.86'	37.50'	25.35'	W 47°01'24" E



- NOTES:**
1. INFORMATION FOR THIS DRAWING WAS OBTAINED FROM A DRAWING ENTITLED TOPOGRAPHIC SURVEY FOR WAKE ELECTRIC MEMBERSHIP CORPORATION; LOT 12, HERITAGE BUSINESS PARK, PH. 1; PREPARED BY CANTHORNE, MOSS & PANGIERA, P.C.; PROFESSIONAL LAND SURVEYORS, C-1525; 333 S. WHITE ST., P.O. BOX 1253; WAKE FOREST, N.C., 27588; 919/556-3148.
 2. SOIL TYPE FOR LOT 12 IS IDENTIFIED CcC2: CECIL SANDY LOAM, 6 TO 10 PERCENT SLOPES, MODERATELY ERODED.
 3. ALL BEARING AND DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS.
 4. ALL ELEVATIONS ARE BASED ON APPROXIMATE NCGS DATUM.
 5. ALL CONTOURS ARE AT 1' INTERVALS LABELED EVERY 5'.

LEGEND

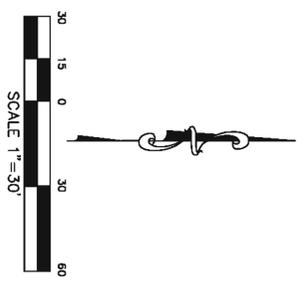
EIP - EXISTING IRON PIPE
 EPK - EXISTING PK NAIL
 NIP - NEW IRON PIPE SET
 RW - RIGHT OF WAY
 CATV - CABLE TV BOX
 EB - ELECTRIC BOX
 TEL - TELEPHONE PEDESTAL
 PP - POWER POLE
 OHL - OVERHEAD LINE
 LP - LIGHT POLE
 WM - WATER METER
 WV - WATER VALVE
 CO - SEWER CLEAN-OUT
 GUY - GUY WIRE/ANCHOR
 TREE

Power Services
 Engineering & Management Services®
 ELECTRICAL SEAL
 CIVIL SEAL

HERITAGE 115/15KV SUBSTATION
 WAKE FOREST, N.C.
S2
 DRAWING No.

EXISTING CONDITIONS

OWNER	WAKE ELECTRIC MEMBERSHIP CORPORATION
ADDRESS	228 PARK AVENUE 77008 RALEIGH, NC 27608
PHONE	800-414-6393
EMAIL ADDRESS	WWW.WEMC.COM
CONSULTANT	POWER SERVICES
DESIGNER	DRYDEN, D.A.
CHECKED	HMT
DATE	06/09/12
SCALE	1" = 20'



CURRENT RATINGS

TUBE, ALUM., 4" NPS, SCH. 40	2460A
TUBE, ALUM., 3" NPS, SCH. 40	1890A
TUBE, ALUM., 2" NPS, SCH. 40	1150A

*TUBE: A.C. 60 HZ, 30°C AMBIENT, 40°C RISE. HORIZONTALLY MOUNTED, OUTDOORS, 2 FPS CROSSWIND, 6083-16, TECHNICAL DATA MANUAL.

CONDUCTOR, ACSR, 1590 kcmil, 45/7	1380A
CONDUCTOR, ACSR, 795 kcmil, 26/7	900A
CONDUCTOR, 1/0 AWG, 6/1	230A

*CONDUCTOR, ACSR: A.C. 60HZ, 25° AMBIENT, 75° RISE, OUTDOORS, 2 FPS CROSSWIND, 61% CONDUCTIVITY, TECHNICAL DATA MANUAL.

CONDUCTOR, COPPER, 750kcmil, 61W	860A
CONDUCTOR, COPPER, 500 kcmil, 37W	663A
CONDUCTOR, COPPER, 250 kcmil, 19W	430A
CONDUCTOR, COPPER, 4/0 kcmil, 7W	385A
CONDUCTOR, COPPER, 2/0 kcmil, 7W	283A
CONDUCTOR, COPPER, #2 AWG, 7W	188A

*CONDUCTOR, COPPER, A.C. 60HZ, 40° AMBIENT, 30° RISE, HORIZONTALLY MOUNTED, OUTDOORS, 2 FPS CROSSWIND, 98% CONDUCTIVITY, TECHNICAL DATA MANUAL.

UABC, 3/4" X 1/4"	1902A
UABC, 4" X 1/4"	2236A
UABC, 4" X 3/8"	2654A

*ANGLE, ALUMINUM: A.C. 60HZ, 40°C AMBIENT, 30° RISE, HORIZONTALLY MOUNTED, OUTDOORS, 2 FPS CROSSWIND, 6101-16, ACA CONDUCTOR MANUAL.

BAR, ALUM., 3" X 1/4"	775A
BAR, ALUM., 3" X 3/8"	955A
BAR, ALUM., 3" X 1/2"	1100A
BAR, ALUM., 4" X 1/4"	990A
BAR, ALUM., 4" X 3/8"	1200A
BAR, ALUM., 4" X 1/2"	1380A

*ANGLE, ALUMINUM: A.C. 60HZ, 40°C AMBIENT, 30° RISE, HORIZONTALLY MOUNTED, OUTDOORS, 2 FPS CROSSWIND, NO. 2 EC-161, 57% CONDUCTIVITY, TECHNICAL DATA MANUAL.

BOLT TORQUING TABLE

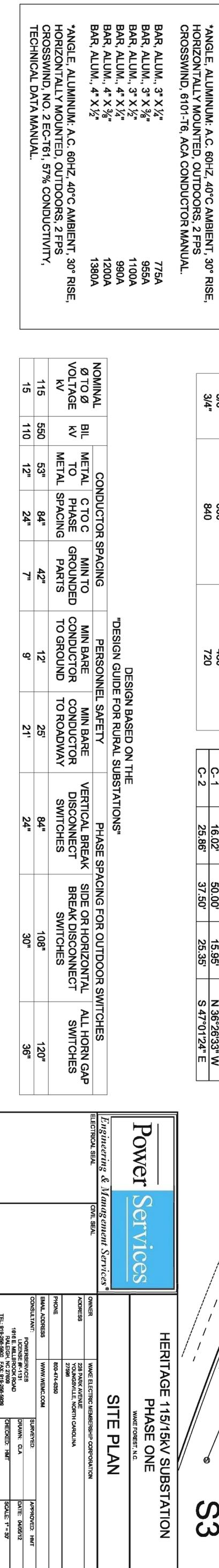
DIAMETER BOLT (INCHES)	RECOMMENDED TORQUE NON-LUBRICATED STEEL & SILICON BRONZE HARDWARE (INCH*1LBS)	RECOMMENDED TORQUE LUBRICATED HARDWARE & ALUMINUM HARDWARE (INCH*1LBS)
1/2"	480	300
5/8"	660	480
3/4"	840	720

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD	BEARING
C-1	16.02'	50.00'	15.95'	N 36°26'33" W
C-2	25.86'	37.50'	25.35'	S 47°01'24" E

DESIGN BASED ON THE "DESIGN GUIDE FOR RURAL SUBSTATIONS"

NOMINAL Ø TO Ø VOLTAGE KV	CONDUCTOR SPACING			PERSONNEL SAFETY		PHASE SPACING FOR OUTDOOR SWITCHES		
	BIL. KV	METAL TO METAL SPACING	MIN TO GROUND PARTS	MIN BARE CONDUCTOR TO GROUND	MIN BARE CONDUCTOR TO ROADWAY	VERTICAL BREAK DISCONNECT SWITCHES	SIDE OR HORIZONTAL BREAK DISCONNECT SWITCHES	ALL HORN GAP SWITCHES
115	550	53"	84"	42"	12'	84"	108"	120"
15	110	12"	24"	7"	9'	24"	30"	36"



SITE DATA:

SETBACKS:	FRONT 30'
	SIDE 10'
	REAR 30'
ZONE:	HB, HIGHWAY BUSINESS
WATERSHED:	NEUSE RIVER-WAKE FOREST, WGS-IV
OWNER:	WAKE EMC 228 PARK AVE. YOUNGSVILLE, NC 27596
WAKE CO. TAX NO.:	0763.10-35-6133
ACREAGE:	1.586 ACRES
NUMBER OF BUILDINGS:	ONE/288 SQ. FT.
BUILDING HEIGHT:	ONE STORY/ 10'
LINEAR FOOTAGE OF STORM DRAINAGE FACILITIES:	540'
PROPOSED LAND USE:	LIGHT COMMERCIAL
PARKING REQUIREMENTS/ PARKING PROVIDED:	1 / 2
IMPERVIOUS SURFACE AREA:	28,178 SQ. FT.

NOTE:
1. INFORMATION FOR THIS DRAWING WAS OBTAINED FROM A DRAWMING ENTITLED TOPOGRAPHIC SURVEY FOR WAKE ELECTRIC MEMBERSHIP CORPORATION, LOT 12, HERITAGE BUSINESS PARK, PH. 1; PREPARED BY CAMYTHORNE, MOSS & PANCIERA, P.C.; PROFESSIONAL LAND SURVEYORS, C-1525; 333 S. WHITE ST., P.O. BOX 1253, WAKE FOREST, N.C., 27588; 919/566-3148.

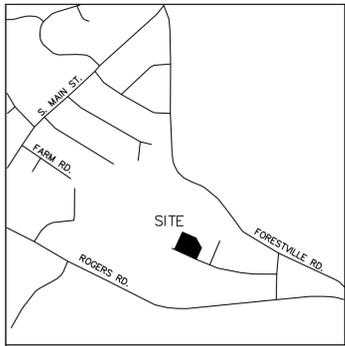
Power Services
Engineering & Management Services
CIVIL SEAL

HERITAGE 115/15KV SUBSTATION PHASE ONE
WAKE FOREST, N.C.

SITE PLAN

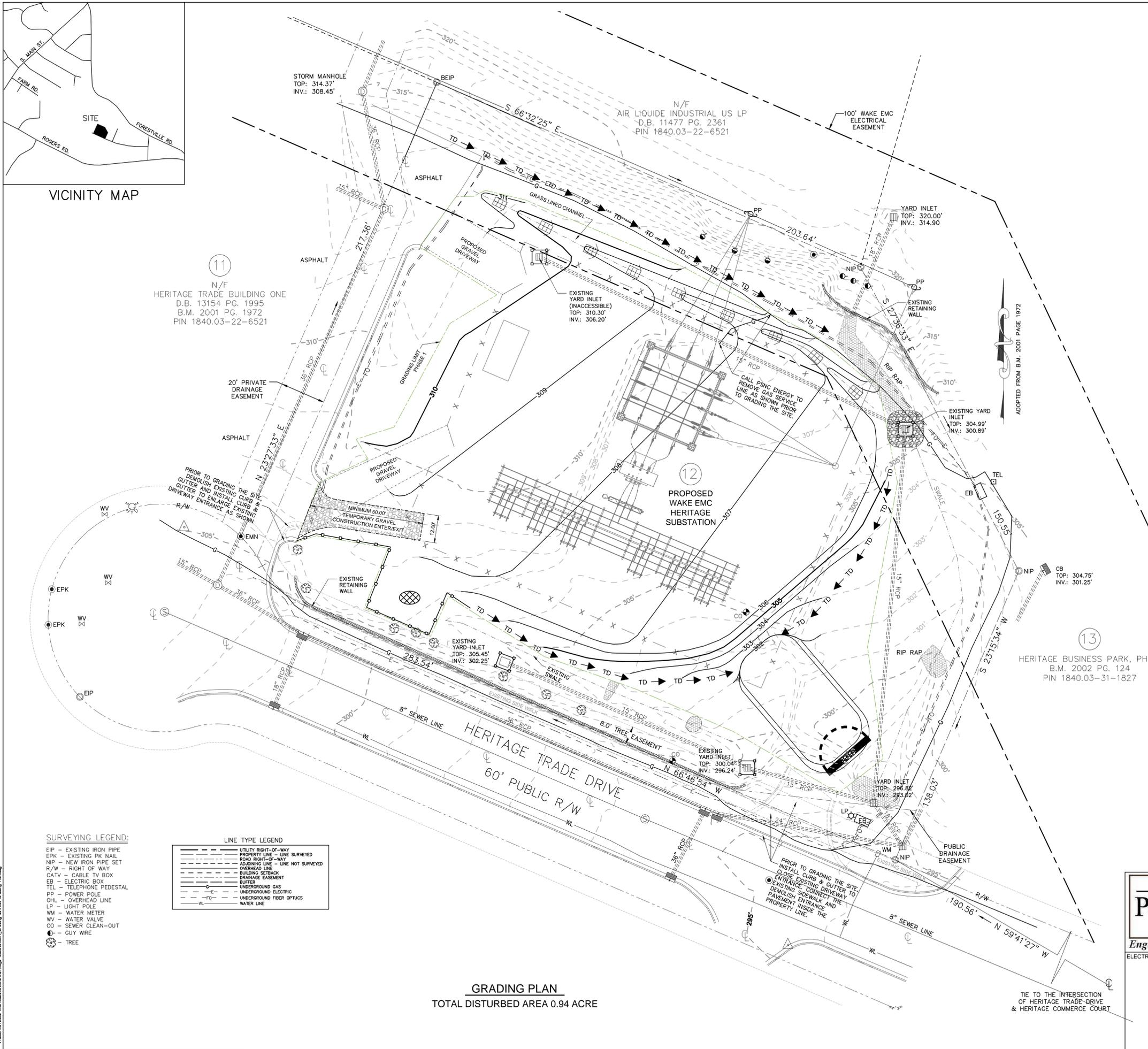
OWNER:	WAKE ELECTRIC MEMBERSHIP CORPORATION
ADDRESS:	228 PARK AVENUE 27596 YOUNGSVILLE, NORTH CAROLINA
PHONE:	919-444-6899
EMAIL ADDRESS:	WWW.WEMC.COM
CONSULTANT:	POWERSERVICES 1914 E. WILSON ROAD RALEIGH, NC 27609 TEL: 919-296-9900 FAX: 919-296-9999
DRAWN BY:	CLA
CHECKED BY:	HMT
APPROVED:	HMT
DATE:	06/08/12
SCALE:	1" = 30'

DRAWING No. **S3**



VICINITY MAP

11
N/F
HERITAGE TRADE BUILDING ONE
D.B. 13154 PG. 1995
B.M. 2001 PG. 1972
PIN 1840.03-22-6521



EROSION PERMIT NOTES:

1. A LAND DISTURBING (E&SC) PERMIT IS REQUIRED FOR PROJECTS OVER 0.50 ACRE. IF MULTIPLE LOTS WITH LAND DISTURBANCE OVER 0.50 ACRE TOTAL ARE EITHER CONTIGUOUS OR NON-CONTIGUOUS IN THE SAME SUBDIVISION, BEING TAKEN DOWN BY SAME BUILDER/OWNER, A LAND DISTURBING PERMIT IS REQUIRED. THE COST OF THE PLAN REVIEW AND PERMIT IS \$400/ACRE ROUNDED UP (1.1 ACRES = 2 ACRES @ \$400/ACRE = \$800).
2. IF ADDITIONAL ACREAGE IS ADDED TO AN EXISTING PERMIT REVISED FORM, PLANS, AND ANY ADDITIONAL FEES MUST BE SUBMITTED.
3. IF OWNERSHIP OF A PROPERTY HAS CHANGED A REVISED FRO MUST BE SUBMITTED.
4. IF A PROPERTY IS TAKEN OVER BY THE BANK, THE BANK SHALL CONTACT THE TOWN AND REPAIR ALL EROSION CONTROL MEASURES TO TOWN/CDCENR STANDARDS. THEY SHALL ALSO SUBMIT A NEW FRO FORM.
5. IF A PROJECT IS NOT COMPLETE WITHIN TWO YEARS, THE PLANS MUST BE RENEWED AT \$250/ACRE. A REVISED SET OF PLANS MAY BE SUBMITTED IF ACREAGE HAS ALREADY BEEN DEVELOPED AND A CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED.
6. AN EROSION PRECONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF WAKE FOREST PRIOR TO START OF ANY WORK, INCLUDING INSTALLATION OF EROSION CONTROL MEASURES, DEMOLITION, CUTTING TREES, AND GRUBBING. CALL ENGINEERING AT (919) 453-9443 TO SET UP A MEETING. ALL PLANS MUST BE SIGNED AND COPIED RETURNED BACK TO THE TOWN 1 WEEK PRIOR TO PRECONSTRUCTION MEETING.
7. THE FRO, GENERAL CONTRACTOR, GRADING COMPANY, AND EROSION CONTROL INSTALLER MUST BE PRESENT AT THE PRECONSTRUCTION MEETING.
8. THE E&SC PERMIT AND NPDES GENERAL STORMWATER PERMIT WILL BE GIVEN OUT AT THIS MEETING.

E&SC CONSTRUCTION SEQUENCE NOTES:

1. AFTER THE PRECONSTRUCTION MEETING IS HELD, THE CONTRACTOR CAN INSTALL INITIAL EROSION CONTROL MEASURES ONLY. THIS INCLUDES BUT NOT LIMITED TO CONSTRUCTION ENTRANCE, SEDIMENT FENCE, PERMANENT DIVERSION DITCH, CHECK DAMS (ROCK OR WADDE TYPE), TREE PROTECTION FENCE, EXISTING INLET PROTECTION, SKIMMER SEDIMENT BASINS, AND SEDIMENT TRAP. THEY MAY CLEAR ONLY AS NECESSARY TO INSTALL THESE MEASURES.
2. CONTRACTOR IS RESPONSIBLE FOR E&SC WEEKLY INSTALLATION AND MAINTENANCE LOG INCLUDING DATES OF TEMPORARY/PERMANENT GROUND COVER, A RAIN GAGE, COPY OF TOWF SIGNED PLANS, REVISED SIGNED PLANS, NPDES LOG, AND CONSTRUCTION BOX MUST BE PRESENT AND EASILY ACCESSIBLE ONSITE.
3. ONCE MEASURES ARE INSTALLED, CONTRACTOR/FRO TO CALL TOWF FOR AN INITIAL INSPECTION. IF SITE PASSES INSPECTION, A CERTIFICATE OF COMPLIANCE WILL BE ISSUED. CONTRACTOR CAN NOW BEING CLEARING, GRUBBING, AND GRADING.
4. CONTRACTOR TO MAINTAIN ACCESS ROAD FOR EMERGENCIES AT ALL TIME.
5. PHASE PROJECT TO LEAVE OPEN AS LITTLE GROUND AS POSSIBLE.
6. TEMPORARY SEED, STRAW AND TACK OR HYDROSEED WITHIN 14 DAYS OF ANY PHASE OF GRADING, INCLUDING SLOPES, SEED BASINS AND DITCHES IMMEDIATELY AFTER CONSTRUCTION.
7. PRIOR TO REMOVAL OF TEMPORARY MEASURES, TOWN MUST APPROVE REMOVAL. ALL AREAS ABOVE TEMPORARY MEASURE MUST HAVE 85% GROUND COVER.
8. TOWF CONSTRUCTION INSPECTOR WILL EVALUATE THE SITE AT LEAST ONCE A MONTH. A COPY OF THE INSPECTION FORM WILL BE EMAILED TO THE FRO. THE WEEKLY EROSION LOG AND NPDES LOG MUST BE ONSITE AND AVAILABLE FOR REVIEW.
9. IF THE SITE IS FOUND OUT OF COMPLIANCE A NOTICE OF VIOLATION WILL BE ISSUED GIVING THE CONTRACTOR/FRO 7 WORKING DAYS TO REMEDY THE PROBLEM. IF THE SITUATION IS NOT RESOLVED WITHIN THE TIME PERIOD A FINE MAY BE ISSUED.
10. IF SEDIMENT LEAVES UP TO THE SITE A FINE MAY BE ISSUED UP TO \$5,000 PER DAY PER VIOLATION. IF SEDIMENT ENTERS A BUFFER, STREAM, OR WETLAND NCDWQ WILL BE NOTIFIED. THEY MAY ISSUE FINES UP TO \$25,000 PER DAY PER VIOLATION.
11. CALL THE TOWF UPON COMPLETION FOR FINAL EROSION INSPECTION. A PUNCHLIST MAY BE GENERATED ADDRESSING ANY REMAINING ITEMS. THERE MUST BE 85% GROUND COVER ON THE ENTIRE SITE PRIOR TO A CERTIFICATE OF OCCUPANCY. IF THE SITE IS FOUND TO BE IN COMPLIANCE AN EROSION CERTIFICATE OF COMPLETION WILL BE ISSUED.

NOTE:
THE EXISTING CONTOUR LINES AND PROPERTY LINES SURVEYED BY CAWTHORNE, MOSS & PANCIERA, P.C. PROFESSIONAL LAND SURVEYORS.

LEGEND

- PROPOSED MAJOR CONTOUR LINE (ELEVATION AS INDICATED)
- PROPOSED MINOR CONTOUR LINE (ELEVATION AS INDICATED)
- EXISTING MAJOR CONTOUR LINE (ELEVATION AS INDICATED)
- EXISTING MINOR CONTOUR LINE (ELEVATION AS INDICATED)
- TEMPORARY SEDIMENT FENCE
- LIMIT OF GRADING
- TOPSOILING
- GRASS LINED CHANNEL
- HARDWARE CLOTH AND GRAVEL INLET PROTECTION
- ROCK DOUGHNUT INLET PROTECTION
- TEMPORARY SEDIMENT TRAP
- TEMPORARY DIVERSION



DRAWING No.
S4.1.P1

SURVEYING LEGEND:

- EIP - EXISTING IRON PIPE
- EPK - EXISTING PK NAIL
- NIP - NEW IRON PIPE SET
- R/W - RIGHT OF WAY
- CATV - CABLE TV BOX
- EB - ELECTRIC BOX
- TEL - TELEPHONE PEDESTAL
- PP - POWER POLE
- OHL - OVERHEAD LINE
- LP - LIGHT POLE
- WM - WATER METER
- WV - WATER VALVE
- CO - SEWER CLEAN-OUT
- GW - GUY WIRE
- TREE - TREE

LINE TYPE LEGEND

- UTILITY RIGHT-OF-WAY
- PROPERTY LINE - LINE SURVEYED
- ROAD RIGHT-OF-WAY
- ADJOINING LINE - LINE NOT SURVEYED
- OVERHEAD LINE
- BUILDING SETBACK
- DRAINAGE EASEMENT
- BUFFER
- UNDERGROUND GAS
- UNDERGROUND ELECTRIC
- UNDERGROUND FIBER OPTICS
- WATER LINE

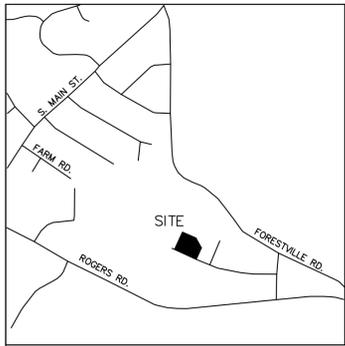
GRADING PLAN
TOTAL DISTURBED AREA 0.94 ACRE



**HERITAGE 115/15KV SUBSTATION
PHASE ONE**
WAKE FOREST, N.C.
**GRADING AND EROSION CONTROL PLAN
PHASE 1**

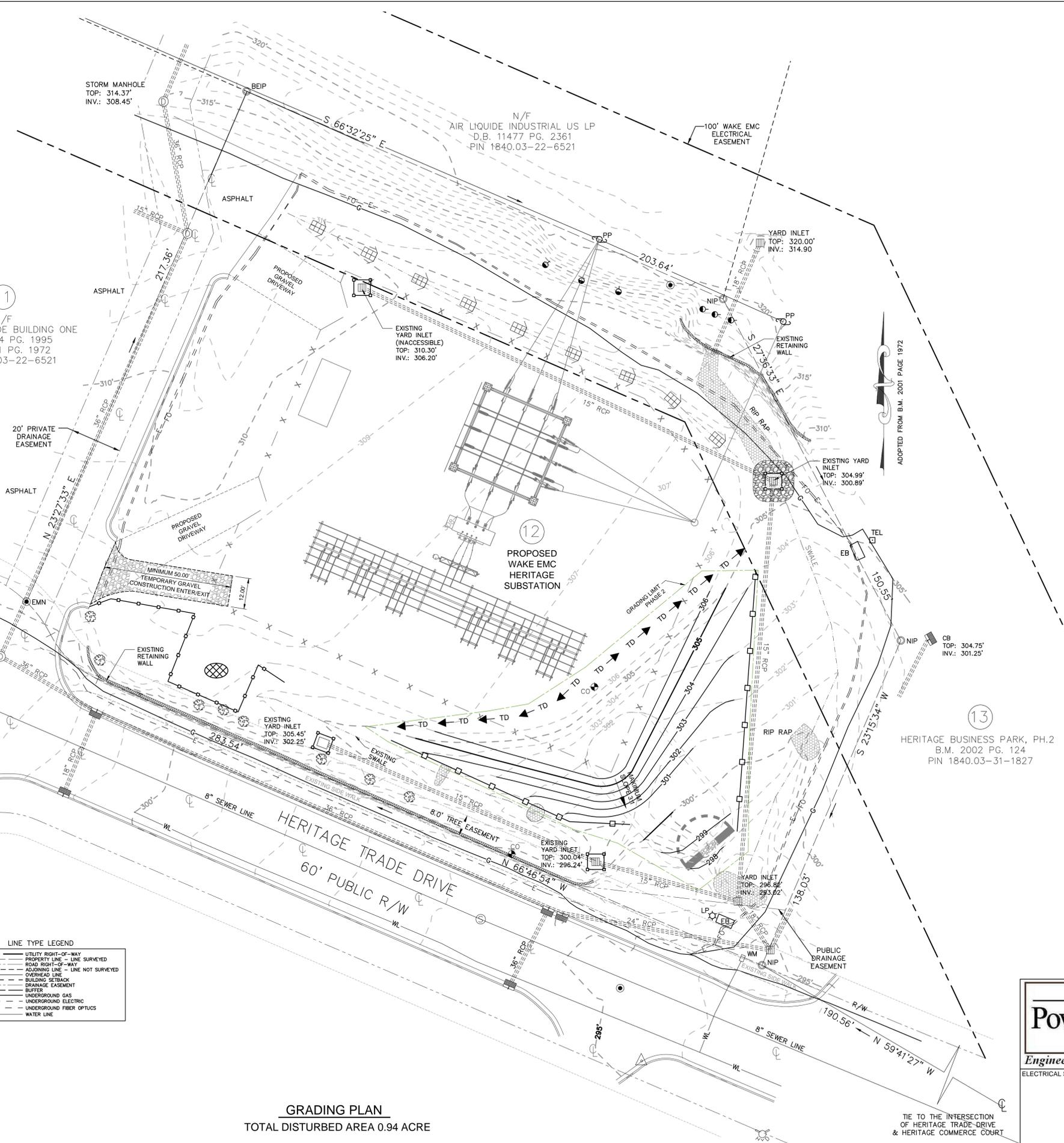
ELECTRICAL SEAL	CIVIL SEAL	OWNER	WAKE ELECTRIC MEMBERSHIP CORPORATION	
		ADDRESS	228 PARK AVENUE YOUNGSVILLE, NORTH CAROLINA 27596	
		PHONE	800-474-6350	
		EMAIL ADDRESS	WWW.WEMC.COM	
		CONSULTANT:	POWER SERVICES LICENSE #F-1131 1616 E. MILLBROOK ROAD RALEIGH, NC 27609 TEL: 919-256-6900 FAX: 919-256-6939	SURVEYED: . APPROVED: LVJ
			DRAWN: GQJ CHECKED: GQJ	DATE: 04/05/2012 SCALE: 1" = 20'

V:\Projects\115KV\115KV_Subs\115KV_Subs.dwg, 04/05/2012, 10:00 AM, G. J. QUINN



VICINITY MAP

11
N/F
HERITAGE TRADE BUILDING ONE
D.B. 13154 PG. 1995
B.M. 2001 PG. 1972
PIN 1840.03-22-6521



EROSION PERMIT NOTES:

1. A LAND DISTURBING (E&S) PERMIT IS REQUIRED FOR PROJECTS OVER 0.50 ACRE. IF MULTIPLE LOTS WITH LAND DISTURBANCE OVER 0.50 ACRE TOTAL ARE EITHER CONTIGUOUS OR NON-CONTIGUOUS IN THE SAME SUBDIVISION, BEING TAKEN DOWN BY SAME BUILDER/OWNER, A LAND DISTURBING PERMIT IS REQUIRED. THE COST OF THE PLAN REVIEW AND PERMIT IS \$400/ACRE ROUNDED UP (1.1 ACRES = 2 ACRES @ \$400/ACRE = \$800).
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3. IF OWNERSHIP OF A PROPERTY HAS CHANGED A REVISED FRO MUST BE SUBMITTED.
4. IF A PROPERTY IS TAKEN OVER BY THE BANK, THE BANK SHALL CONTACT THE TOWN AND REPAIR ALL EROSION CONTROL MEASURES TO TOWN/NCDEM STANDARDS. THEY SHALL ALSO SUBMIT A NEW FRO FORM.
5. IF A PROJECT IS NOT COMPLETE WITHIN TWO YEARS, THE PLANS MUST BE RENEWED AT \$250/ACRE. A REVISED SET OF PLANS MAY BE SUBMITTED IF ACQUIRED HAS ALREADY BEEN DEVELOPED AND A CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED.
6. AN EROSION PRECONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF WAKE FOREST PRIOR TO START OF ANY WORK, INCLUDING INSTALLATION OF EROSION CONTROL MEASURES, DEMOLITION, CUTTING TREES, AND GRUBBING. CALL ENGINEERING AT (919) 453-9443 TO SET UP A MEETING. ALL PLANS MUST BE SIGNED AND COPIED RETURNED BACK TO THE TOWN 1 WEEK PRIOR TO PRECONSTRUCTION MEETING.
7. THE FRO, GENERAL CONTRACTOR, GRADING COMPANY, AND EROSION CONTROL INSTALLER MUST BE PRESENT AT THE PRECONSTRUCTION MEETING.
8. THE E&S PERMIT AND NPDES GENERAL STORMWATER PERMIT WILL BE GIVEN OUT AT THIS MEETING.

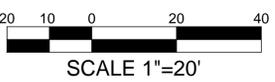
E&S CONSTRUCTION SEQUENCE NOTES:

1. AFTER THE PRECONSTRUCTION MEETING IS HELD, THE CONTRACTOR CAN INSTALL INITIAL EROSION CONTROL MEASURES ONLY. THIS INCLUDES BUT NOT LIMITED TO CONSTRUCTION ENTRANCE, SEDIMENT FENCE, PERMANENT DIVERSION DITCH, CHECK DAMS (ROCK OR WADDE TYPE), TREE PROTECTION FENCE, EXISTING INLET PROTECTION, SKIMMER SEDIMENT BASINS, AND SEDIMENT TRAP. THEY MAY CLEAR ONLY AS NECESSARY TO INSTALL THESE MEASURES.
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NOTE:
THE EXISTING CONTOUR LINES AND PROPERTY LINES SURVEYED BY CAWTHORNE, MOSS & PANCIERA, P.C. PROFESSIONAL LAND SURVEYORS.

LEGEND

- PROPOSED MAJOR CONTOUR LINE (ELEVATION AS INDICATED)
- PROPOSED MINOR CONTOUR LINE (ELEVATION AS INDICATED)
- EXISTING MAJOR CONTOUR LINE (ELEVATION AS INDICATED)
- EXISTING MINOR CONTOUR LINE (ELEVATION AS INDICATED)
- TEMPORARY SEDIMENT FENCE
- LIMIT OF GRADING
- TOPSAILING
- GRASS LINED CHANNEL
- HARDWARE CLOTH AND GRAVEL INLET PROTECTION
- ROCK DOUGHNUT INLET PROTECTION
- TEMPORARY SEDIMENT TRAP
- TEMPORARY DIVERSION



DRAWING No.
S4.1.P2

- LEGEND:**
- EIP - EXISTING IRON PIPE
 - EPK - EXISTING PK NAIL
 - NIP - NEW IRON PIPE SET
 - R/W - RIGHT OF WAY
 - CATV - CABLE TV BOX
 - EB - ELECTRIC BOX
 - TEL - TELEPHONE PEDESTAL
 - PP - POWER POLE
 - OHL - OVERHEAD LINE
 - LP - LIGHT POLE
 - WM - WATER METER
 - WV - WATER VALVE
 - CO - SEWER CLEAN-OUT
 - GW - GUY WIRE
 - TREE - TREE
- LINE TYPE LEGEND**
- UTILITY RIGHT-OF-WAY
 - PROPERTY LINE - LINE SURVEYED
 - ROAD RIGHT-OF-WAY
 - ADJOINING LINE - LINE NOT SURVEYED
 - OVERHEAD LINE
 - BUILDING SETBACK
 - DRAINAGE EASEMENT
 - BUFFER
 - UNDERGROUND GAS
 - UNDERGROUND ELECTRIC
 - UNDERGROUND FIBER OPTICS
 - WATER LINE

GRADING PLAN
TOTAL DISTURBED AREA 0.94 ACRE

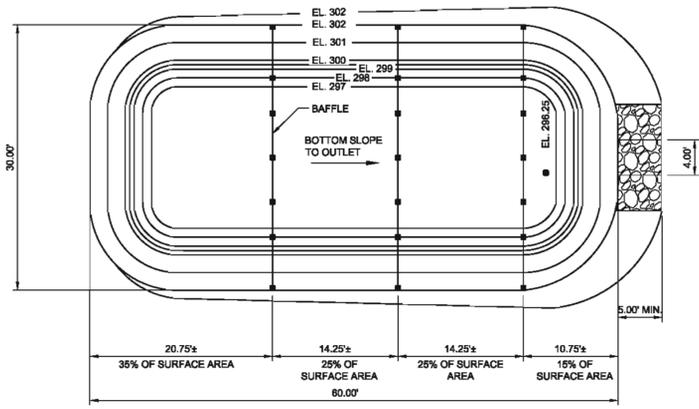
Power Services
Engineering & Management Services®

ELECTRICAL SEAL

CIVIL SEAL

HERITAGE 115/15KV SUBSTATION PHASE ONE	
WAKE FOREST, N.C.	
GRADING AND EROSION CONTROL PLAN PHASE 2	
OWNER	WAKE ELECTRIC MEMBERSHIP CORPORATION
ADDRESS	228 PARK AVENUE YOUNGSVILLE, NORTH CAROLINA 27596
PHONE	800-474-6350
EMAIL ADDRESS	WWW.WEMC.COM
CONSULTANT:	POWERSERVICES LICENSE #F-1131 1616 E. MILLBROOK ROAD RALEIGH, NC 27609 TEL: 919-256-6900 FAX: 919-256-6939
SURVEYED:	APPROVED: LVJ
DRAWN: GQJ	DATE: 04/05/2012
CHECKED: GQJ	SCALE: 1" = 20'

V:\Projects\115KV\115KV_Subs\115KV_Subs.dwg, 04/05/2012, 10:00 AM, GQJ



TEMPORARY SEDIMENT TRAP
PLAN VIEW

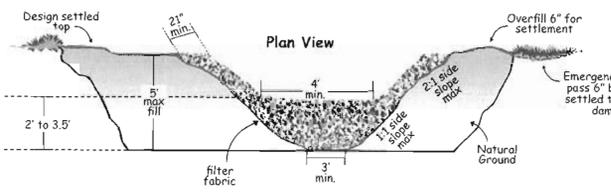
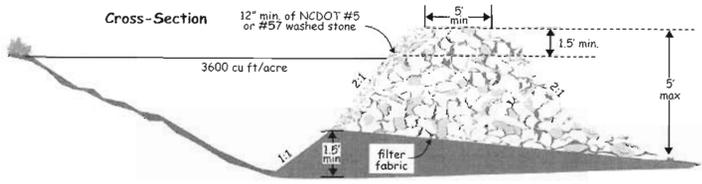
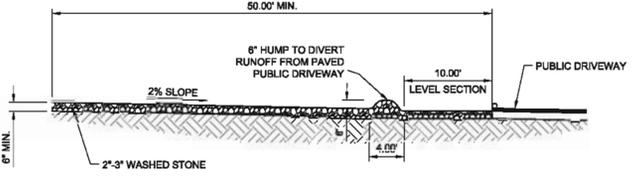
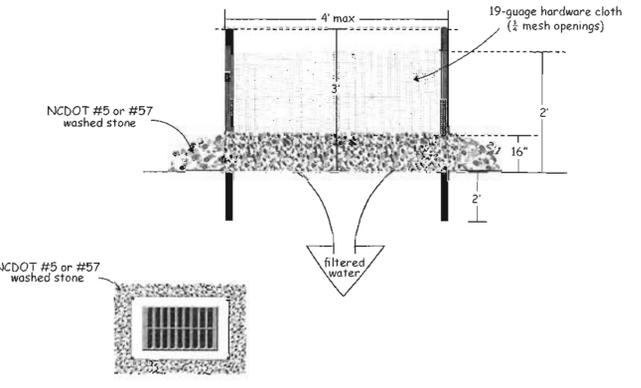


Figure 6.80a Plan view and cross-section view of a temporary sediment trap.

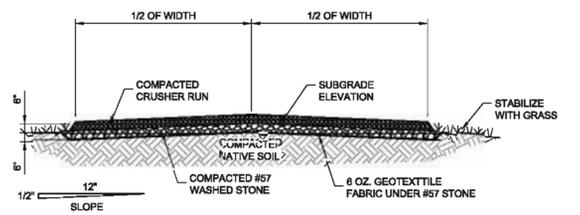
TEMPORARY SEDIMENT TRAP
CROSS SECTIONS
(IMAGE COPIED FROM NC EROSION AND
SEDIMENT CONTROL AND DESIGN MANUAL)



TEMPORARY GRAVEL
CONSTRUCTION ENTEREXIT
SECTION DETAIL



HARDWARE CLOTH & GRAVEL
INLET PROTECTION
DETAILS
(IMAGE COPIED FROM NC EROSION AND
SEDIMENT CONTROL AND DESIGN MANUAL)



SUBSTATION
GRAVEL ACCESS DRIVE
DETAIL

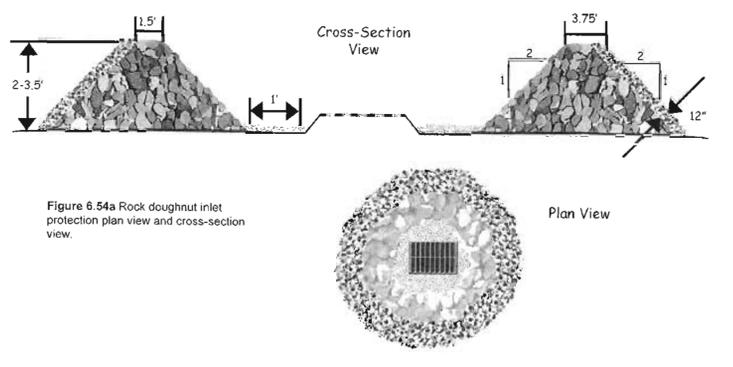
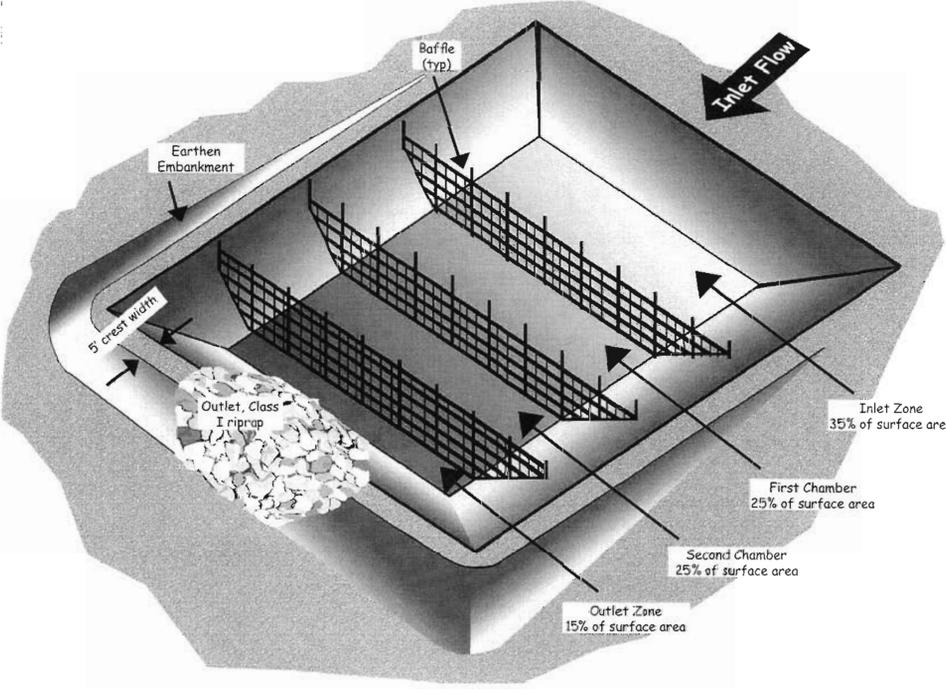
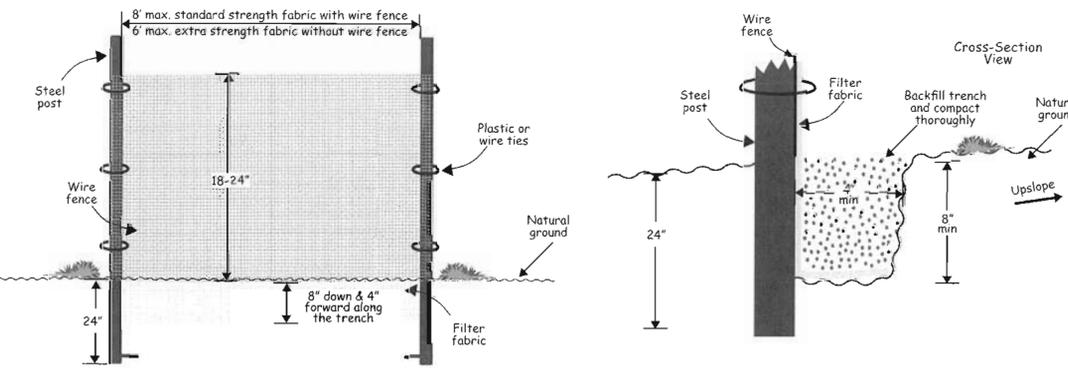


Figure 6.54a Rock doughnut inlet
protection plan view and cross-section
view.

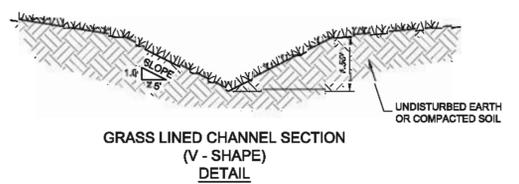
ROCK DOUGHNUT INLET PROTECTION
DETAILS
(IMAGE COPIED FROM NC EROSION AND
SEDIMENT CONTROL AND DESIGN MANUAL)



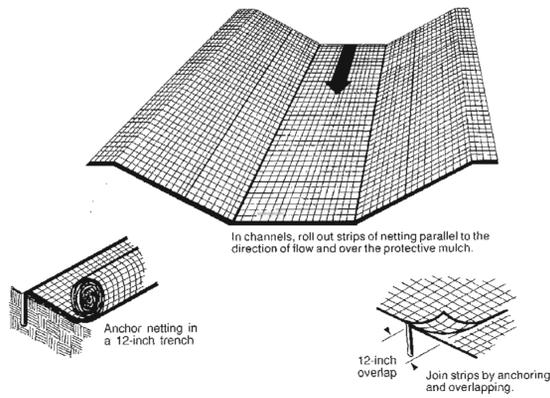
TEMPORARY SEDIMENT TRAP
PERSPECTIVE VIEW
(IMAGE COPIED FROM NC EROSION AND
SEDIMENT CONTROL AND DESIGN MANUAL)



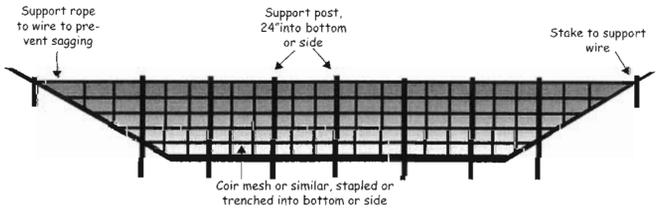
TEMPORARY SEDIMENT FENCE
DETAILS
(IMAGE COPIED FROM NC EROSION AND
SEDIMENT CONTROL AND DESIGN MANUAL)



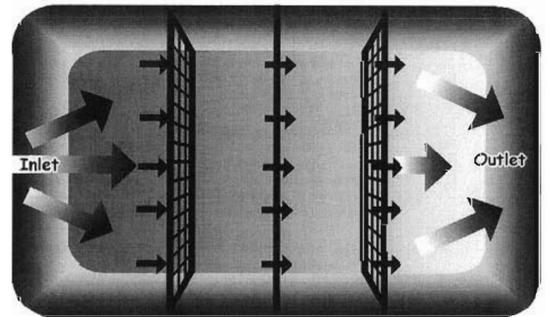
GRASS LINED CHANNEL SECTION
(V-SHAPE)
DETAIL



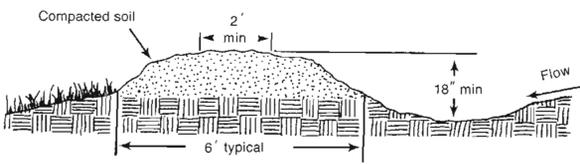
TEMPORARY LINER FOR GRASS CHANNEL
DETAILS
(IMAGE COPIED FROM NC EROSION AND SEDIMENT
CONTROL AND DESIGN MANUAL)



POROUS BAFFLE
DETAILS
(IMAGE COPIED FROM NC EROSION AND
SEDIMENT CONTROL AND DESIGN MANUAL)



TEMPORARY DIVERSION
DETAILS
(IMAGE COPIED FROM NC EROSION AND
SEDIMENT CONTROL AND DESIGN MANUAL)



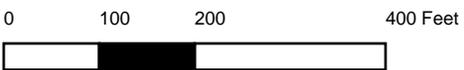
NOTE:
SEE SPECIFICATIONS FOR CONSTRUCTION SEQUENCE AND INSTALLATION REQUIREMENT.

DRAWING No.
S4.2

 Engineering & Management Services®		HERITAGE 115/15kV SUBSTATION PHASE ONE WAKE FOREST, N.C.	
		GRADING/EROSION & SEDIMENT CONTROL DETAILS	
ELECTRICAL SEAL	CIVIL SEAL	OWNER	WAKE ELECTRIC MEMBERSHIP CORPORATION
		ADDRESS	228 PARK AVENUE YOUNGSVILLE, NORTH CAROLINA 27596
		PHONE	800-474-6350
		EMAIL ADDRESS	WWW.WEMC.COM
		CONSULTANT:	SURVEYED: .
		POWER SERVICES LICENSE #1131 1616 E. MILLBROOK ROAD RALEIGH, NC 27609 TEL: 919-258-5900 FAX: 919-258-5939	APPROVED: LVJ
		DRAWN: GQJ	DATE: 04/05/2012
		CHECKED: GQJ	SCALE: NONE



Pep Boys





TOWN *of* WAKE FOREST

TECHNICAL REVIEW COMMITTEE

WAKE FOREST TOWN HALL
301 S. BROOKS STREET
2nd FLOOR, ROOM 201

THURSDAY, MAY 17, 2012 at 10:00 A.M.

MEETING AGENDA

Meeting Format:

- The planner assigned to the project gives a brief overview and brings up any major issues that need the group's consensus.
 - In order, each TRC member/department representative provides their written comments to the planner and brings up any major issues that need discussing concerning their department.
 - Comments to the planner can be provided prior to the meeting, but please have written comments available at the meeting should they need to be amended.
 - At the conclusion of the project discussed, there should be a consensus to decide if the item should come back to the TRC or not based on the comments received.
 - This allows the planner to prepare a comprehensive staff comments document that can be sent to the appropriate engineer/development firm.
- Department Members: Planning, Public Works, Engineering, Administration, City of Raleigh
Utilities, Inspections, and Police

1. CALL TO ORDER

2. ITEMS FOR REVIEW

A. Development Plan – Richland Creek Elementary School

Size – 27.98 acres

Land Use – Elementary School

Zoning – C.U. HB & HB

Location – Capital Blvd

Applicant – WCPSS

Planner - Charlie Yokley

B. Master Plan – Siena Drive Townhomes

Size – 29.13 acres

Land Use – Residential Townhomes

Zoning – C.U. O-I

Location – Dr. Calvin Jones Highway

Applicant – BNK

Planner – Charlie Yokley

C. Master Plan – Reynolds Mill, Phase 3

Size – 19.72 acres

Land Use – Single-Family Residential (62 lots)

Zoning – C.U. R-5, C.U. R-8, C.U. R-10

Location – Forbes Road / Ligon Mill Road (extension)

Applicant – Mulkey

Planner – Chad Sary

4. OTHER BUSINESS:

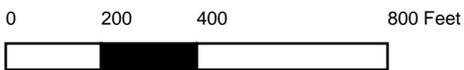
A. Report from City of Raleigh

B. Discussion on Future Planning Board/Board of Commissioners Items.

5. ADJOURNMENT



Richland Creek



PRELIMINARY
DO NOT USE
FOR CONSTRUCTION

**RICHLAND CREEK
ELEMENTARY
SCHOOL (E-25)**

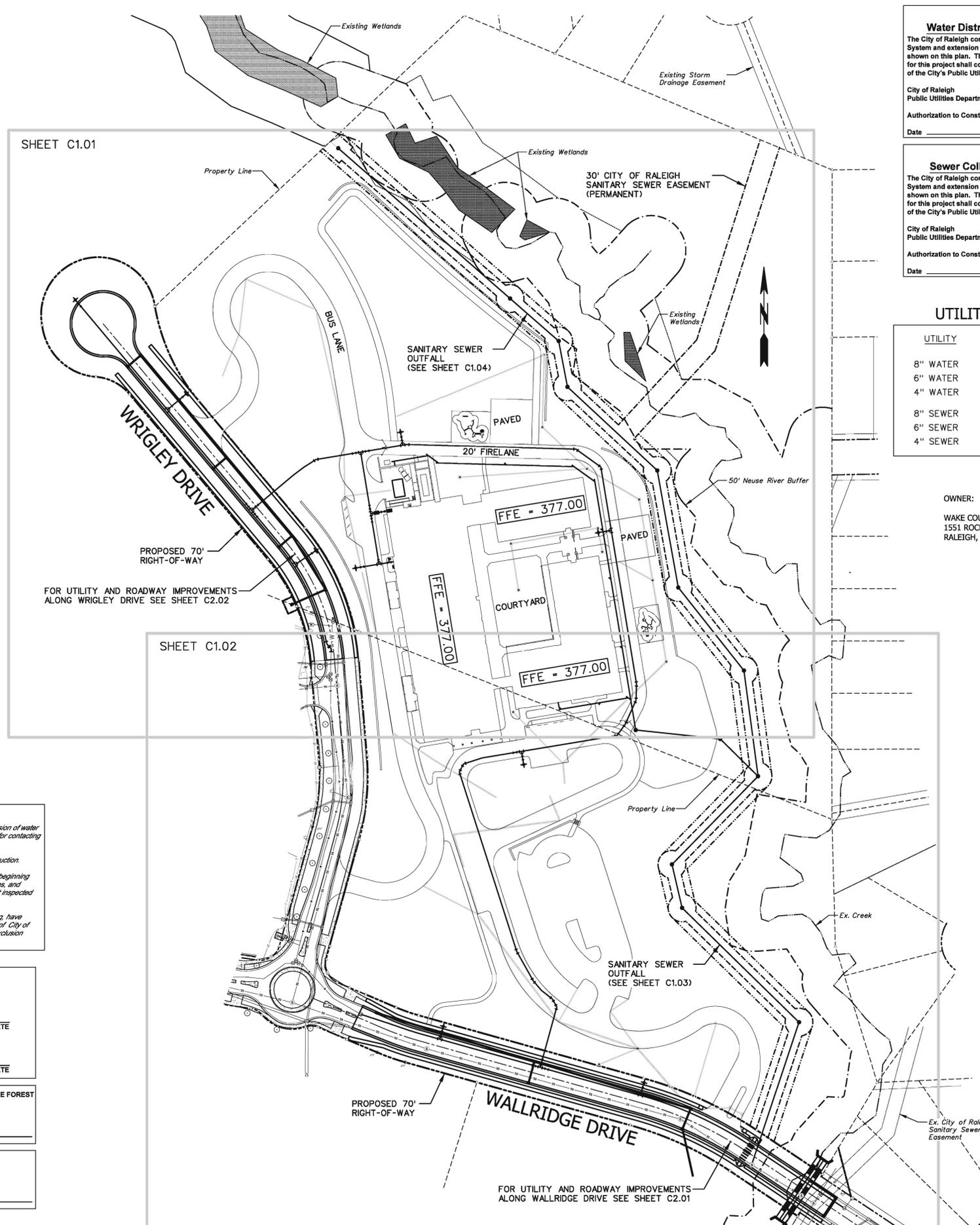
WAKE FOREST, NORTH CAROLINA

WAKE COUNTY
PUBLIC SCHOOL SYSTEM

ENGINEERS PROJECT NO. 2710-AD

OVERALL
SITE WATER &
SEWER PLAN

SITE PLAN APPROVAL



**Private
Water Distribution / Extension System**
The City of Raleigh consents to the connection to its public water System and extension of the private water distribution system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
City of Raleigh
Public Utilities Department Permit # _____
Authorization to Construct _____
Date _____

**Public
Water Collection / Extension System**
The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
City of Raleigh
Public Utilities Department Permit # _____
Authorization to Construct _____
Date _____

**Private
Sewer Collection / Extension System**
The City of Raleigh consents to the connection to its public sewer System and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
City of Raleigh
Public Utilities Department Permit # _____
Authorization to Construct _____
Date _____

**Public
Sewer Collection / Extension System**
The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
City of Raleigh
Public Utilities Department Permit # _____
Authorization to Construct _____
Date _____

UTILITY DATA TABLE

UTILITY	PUBLIC	PRIVATE
8" WATER	1400 L.F.	1730 L.F.
6" WATER	N/A	50 L.F.
4" WATER	N/A	25 L.F.
8" SEWER	1935 L.F.	125 L.F.
6" SEWER	N/A	365 L.F.
4" SEWER	N/A	105 L.F.

LEGEND

SEWER

EXISTING	NEW
⊙	●
○	•
—SS—	—

WATER

EXISTING	NEW
⊕	⊕
⊕+	⊕+
◁	▷
⊕	⊕
c	c
—W—	—W—

OWNER:
WAKE COUNTY PUBLIC SCHOOL SYSTEM
1551 ROCK QUARRY ROAD
RALEIGH, NORTH CAROLINA 27610

- GENERAL UTILITY NOTES:**
1. NOTIFY ENGINEER AND CITY OF RALEIGH AT LEAST 48 HOURS PRIOR TO BEGINNING ANY UTILITY CONSTRUCTION.
 2. SITE/CIVIL CONTRACTOR SHALL EXTEND ALL SERVICES TO WITHIN 5' OF BUILDING FOR CONNECTION BY PLUMBING CONTRACTOR UNLESS SHOWN OTHERWISE. COORDINATE CONNECTIONS WITH PLUMBING CONTRACTOR.
 3. DRAWINGS C1.00 THROUGH C1.04 ARE FOR WATER AND SANITARY SEWER TO THE ELEMENTARY SCHOOL ONLY. ALL OTHER PROPOSED FACILITIES SHOWN ON THESE DRAWINGS ARE FOR CONCEPTUAL PURPOSES ONLY. THE DESIGN AND LAYOUT OF OTHER UTILITIES (I.E. STORM DRAINAGE, ELECTRICAL, GAS, ETC.) ARE ON OTHER DRAWINGS.
 4. EX. UTILITIES ARE LOCATED APPROXIMATELY. NOTIFY UTILITY LOCATING SERVICE TO MARK LOCATION OF EXISTING UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION ACTIVITY. CONTRACTOR RESPONSIBLE FOR FIELD VERIFICATION. THE COST TO REPAIR THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE CIVIL/SITE CONTRACTOR.
 5. BUILDING SEWER/SEWER SERVICES SHALL BE INSTALLED ON A 1/8" PER FOOT MIN. GRADE UNLESS SHOWN OTHERWISE.
 6. SEWER LINES NOT IN CITY OF RALEIGH EASEMENT SHALL BE CONSIDERED BUILDING SEWER AND SHALL CONFORM TO N.C. BUILDING CODE. ALL SEWERS WILL BE INSPECTED BY THE CITY OF RALEIGH.
 7. FIRE MAIN AND DOMESTIC WATER SERVICES ARE TO BE INSTALLED BY UTILITY CONTRACTOR INTO BUILDINGS AT LOCATIONS SHOWN, TURNED UP VERTICALLY, EXTENDED TO AN ELEVATION OF 1'-0" A.F.F., AND CAPPED. VERTICAL PIPING, 90° BEND BENEATH BUILDING, AND CAP SHALL BE FLANGED DIP AND RODDED. COORDINATE WITH FIRE PROTECTION AND PLUMBING PLAN.
 8. BACKFLOW PREVENTOR FOR DOMESTIC WATER AND FIRE MAIN ARE PROVIDED INSIDE THE BUILDING. REFER TO PLUMBING PLAN.
 9. FIRE HYDRANTS LOCATED IN ELEMENTARY SITE SHALL BE LOCATED 5'-0" OUTSIDE THE EDGE OF PAVEMENT/BACK OF CURB MINIMUM, EXCEPT WHERE STATED OTHERWISE.
 10. ALL UTILITY IMPROVEMENTS SHALL MEET THE CITY OF RALEIGH PUBLISHED STANDARDS AS A MINIMUM.
 11. MINIMUM CLEARING/GRUBBING LIMITS ALONG THE SANITARY SEWER OUTFALL IS TO THE OUTER LIMITS OF THE PERMANENT EASEMENT. CLEAR/GRUB TO CONSTRUCTION LIMITS AS NECESSARY FOR CONSTRUCTION.
 12. MAINTAIN 18-INCH VERTICAL SEPARATION BETWEEN WATER LINES AND SANITARY SEWER, AND 24-INCH VERTICAL SEPARATION BETWEEN STORM SEWER LINES AND OTHER UTILITIES WHEN CROSSING.
 13. ALL MANHOLE INSIDE DIAMETERS SHALL BE 4' UNLESS INDICATED OTHERWISE.
 14. PROVIDE TREE PROTECTION FENCING ALONG EACH SIDE OF CONSTRUCTION CORRIDOR.

ATTENTION CONTRACTORS
The Construction Contractor responsible for the extension of water and sewer, as approved in these plans, is responsible for contacting the Public Works Department at 631-2010, and the Public Utilities Department at 657-4540 at least twenty-four hours prior to beginning any of their construction.
Failure to notify both City Departments in advance of beginning construction will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.
Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

THESE PLANS HAVE BEEN APPROVED FOR CONSTRUCTION BY THE CITY OF RALEIGH

ZONING/SUBDIVISION ADMINISTRATOR _____ DATE _____

CITY OF RALEIGH FIRE CHIEF _____ DATE _____

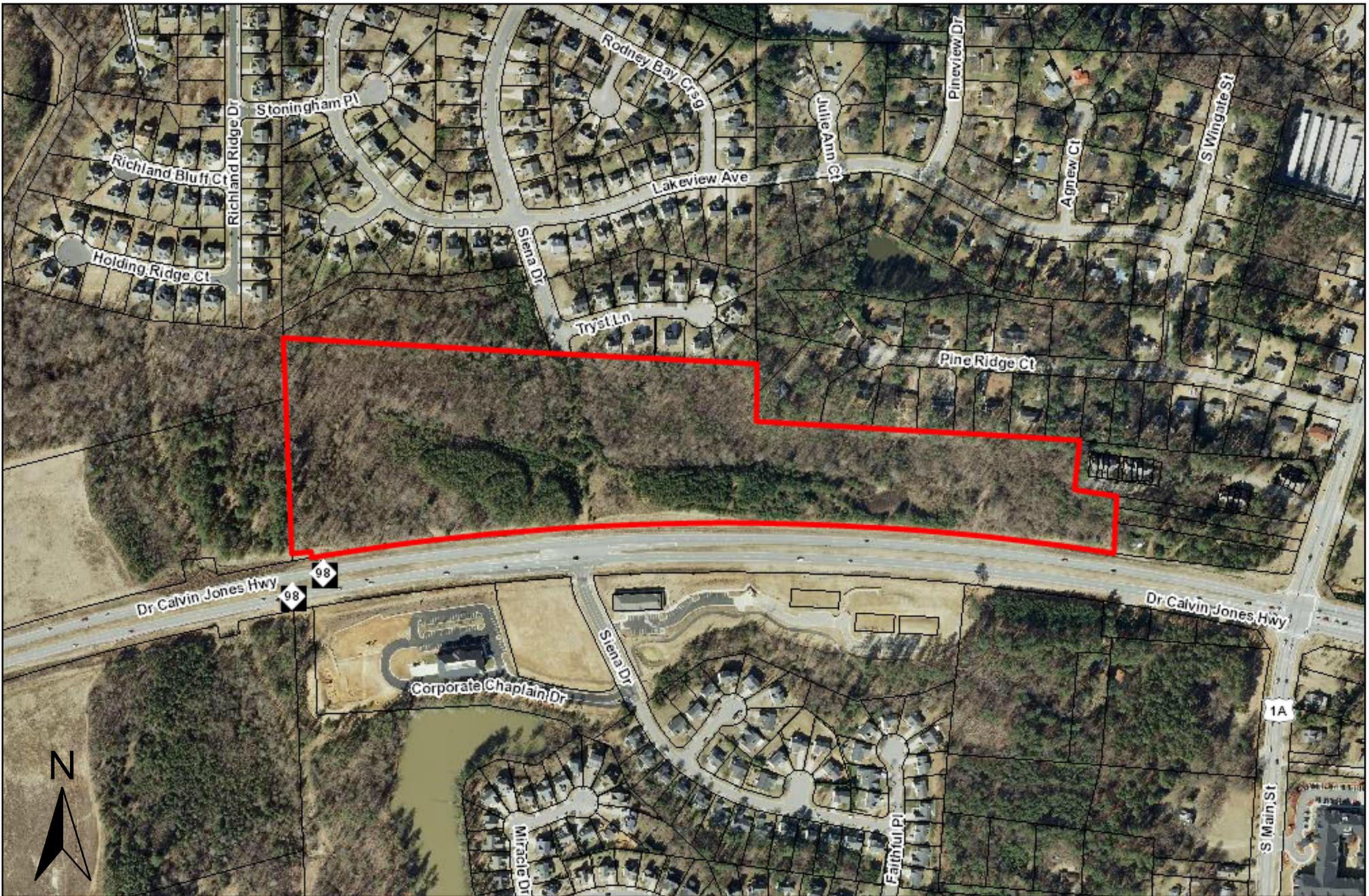
RECOMMENDATION FOR APPROVAL BY THE WAKE FOREST PLANNING BOARD

DATE _____

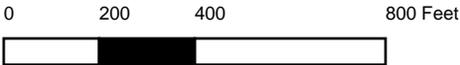
APPROVAL BY THE WAKE FOREST BOARD OF COMMISSIONERS

DATE _____

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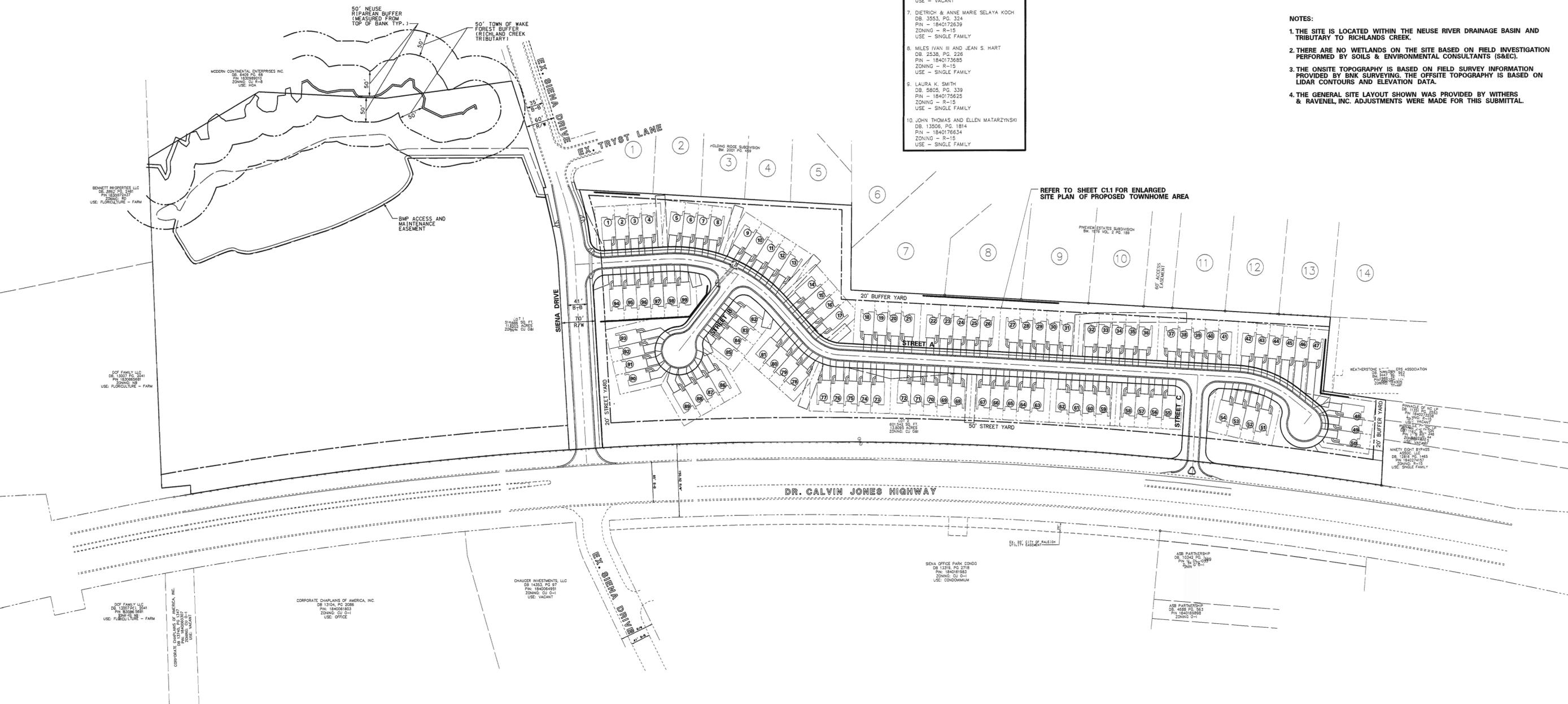
Townhomes



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ADJOINER INFORMATION	
1. E. AUSTIN OVERSTREET IV DB: 9457, PG. 1971 PIN: 1840075881 ZONING - CU R-8 USE - SINGLE FAMILY	11. KENNETH S AND BRENDA R CAPPS DB: 2474, PG. 271 PIN: 1840178613 ZONING - R-15 USE - SINGLE FAMILY
2. ERIC A. AND JEANNINE M. PARKER DB: 13422, PG. 734 PIN: 1840077812 ZONING - CU R-8 USE - SINGLE FAMILY	12. RAYMOND ERICK HARP III AND AMANDA LYNN HARP DB: 5375, PG. 750 PIN: 1840179622 ZONING - R-15 USE - SINGLE FAMILY
3. JEREMY SCOTT AND KRISTEN LONG GRAHAM DB: 13527, PG. 1534 PIN: 1840078812 ZONING - CU R-8 USE - SINGLE FAMILY	13. RANDALL E AND SANDRA P SIMS SCHMIDT DB: 6225, PG. 347 PIN: 1840270631 ZONING - R-15 USE - SINGLE FAMILY
4. ALEX J. WALTON DB: 10473, PG. 524 PIN: 1840079801 ZONING - CU R-8 USE - SINGLE FAMILY	14. TAMMY J. AND JOSEPH REYNOLDS DB: 11514, PG. 1585 PIN: 1840271631 ZONING - R-15 USE - SINGLE FAMILY
5. JEFFEREY AND JOAN HETTER DB: 11961, PG. 2379 PIN: 1840170811 ZONING - CU R-8 USE - SINGLE FAMILY	
6. DIETRICH & ANNE MARIE SELAYA KOCH DB: 3553, PG. 324 PIN: 1840171737 ZONING - R-15 USE - VACANT	
7. DIETRICH & ANNE MARIE SELAYA KOCH DB: 3553, PG. 324 PIN: 1840172639 ZONING - R-15 USE - SINGLE FAMILY	
8. MILES IVAN III AND JEAN S. HART DB: 2538, PG. 226 PIN: 1840173685 ZONING - R-15 USE - SINGLE FAMILY	
9. LAURA K. SMITH DB: 8505, PG. 339 PIN: 1840175625 ZONING - R-15 USE - SINGLE FAMILY	
10. JOHN THOMAS AND ELLEN MATARZYNSKI DB: 13509, PG. 1814 PIN: 1840176634 ZONING - R-15 USE - SINGLE FAMILY	

- NOTES:**
1. THE SITE IS LOCATED WITHIN THE NEUSE RIVER DRAINAGE BASIN AND TRIBUTARY TO RICHLANDS CREEK.
 2. THERE ARE NO WETLANDS ON THE SITE BASED ON FIELD INVESTIGATION PERFORMED BY SOILS & ENVIRONMENTAL CONSULTANTS (S&EC).
 3. THE ONSITE TOPOGRAPHY IS BASED ON FIELD SURVEY INFORMATION PROVIDED BY BNK SURVEYING. THE OFFSITE TOPOGRAPHY IS BASED ON LIDAR CONTOURS AND ELEVATION DATA.
 4. THE GENERAL SITE LAYOUT SHOWN WAS PROVIDED BY WITHERS & RAVENEL, INC. ADJUSTMENTS WERE MADE FOR THIS SUBMITTAL.

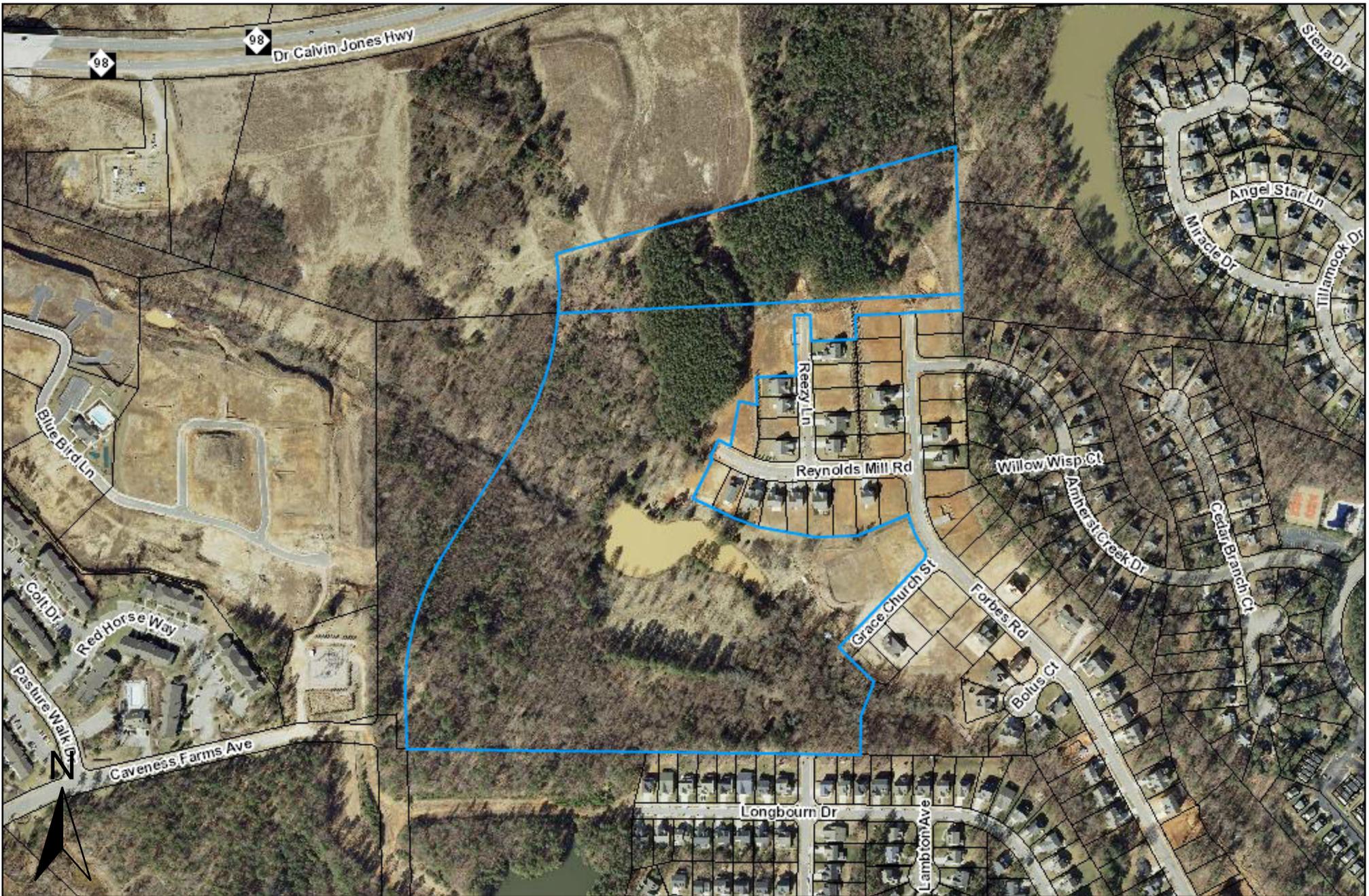


REFER TO SHEET C11 FOR ENLARGED SITE PLAN OF PROPOSED TOWNHOME AREA

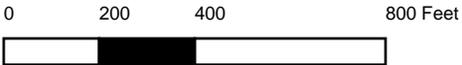
PRELIMINARY
DO NOT USE FOR CONSTRUCTION



BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
1500 CHARLES MILL ROAD SUITE 200
RALEIGH, NC 27607
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reynolds mill

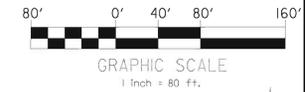


APPROVAL BY THE
WAKE FOREST BOARD
OF COMMISSIONERS

RECOMMENDATION FOR APPROVAL
BY THE WAKE FOREST
PLANNING AND ZONING BOARD

DATE _____

DATE _____



CORPORATE CHAPLAINS
OF AMERICA INC.
D.B. 13748 PG. 1347
BOM 2008 PG. 783
PIN NO. 1840-06-0307
ZONED: CU R-8
LAND USE: VACANT

DCF FAMILY LLC
D.B. 13007, PG. 2041
PIN NO. 1830-05-5681
ZONED: CU-HB
LAND USE: VACANT

DCF FAMILY LLC
D.B. 13007, PG. 2041
PIN NO. 1830-05-5681
ZONED: CU-HB
LAND USE: VACANT

CORPORATE CHAPLAINS
OF AMERICA INC.
D.B. 13748 PG. 1347
BOM 2008 PG. 783
PIN NO. 1830-05-9819
ZONED: CU R-9
LAND USE: VACANT

BRYCE HANTLA &
CATHERINE HANTLA
D.B. 12032 PG. 2512
BOM 1987 PG. 1882
PIN NO. 1830-95-7656
ZONED: R-10
LAND USE: RESIDENTIAL

DCF FAMILY LLC
D.B. 13007, PG. 2041
PIN NO. 1830-05-0298
ZONED: CU HB
LAND USE: VACANT

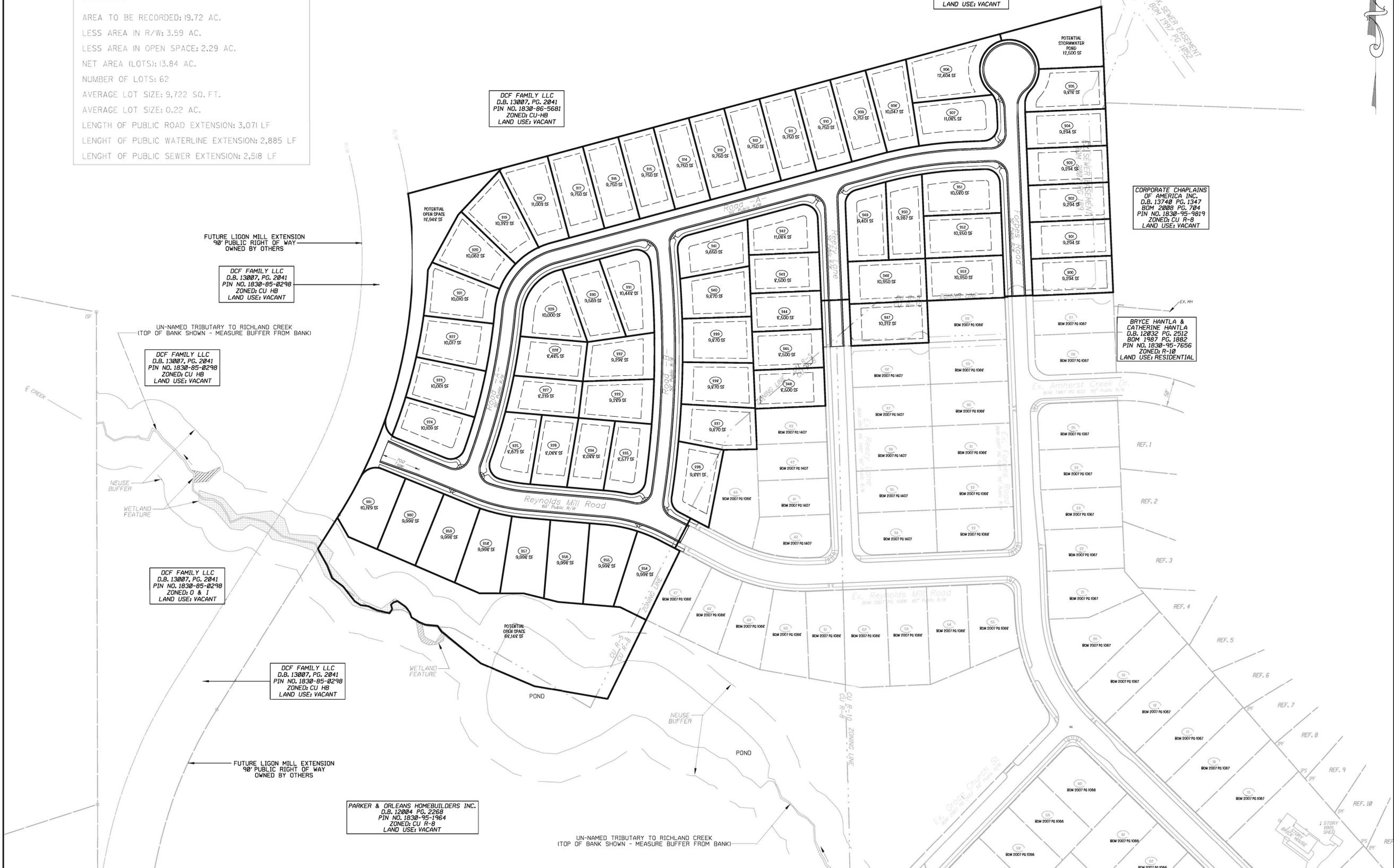
DCF FAMILY LLC
D.B. 13007, PG. 2041
PIN NO. 1830-05-0298
ZONED: D & I
LAND USE: VACANT

DCF FAMILY LLC
D.B. 13007, PG. 2041
PIN NO. 1830-05-0298
ZONED: CU HB
LAND USE: VACANT

PARKER & ORLEANS HOMEBUILDERS INC.
D.B. 12004 PG. 2269
PIN NO. 1830-95-1964
ZONED: CU R-8
LAND USE: VACANT

SITE DATA

AREA TO BE RECORDED: 19.72 AC.
LESS AREA IN R/W: 3.59 AC.
LESS AREA IN OPEN SPACE: 2.29 AC.
NET AREA (LOTS): 13.84 AC.
NUMBER OF LOTS: 62
AVERAGE LOT SIZE: 9,722 SQ. FT.
AVERAGE LOT SIZE: 0.22 AC.
LENGTH OF PUBLIC ROAD EXTENSION: 3,071 LF
LENGTH OF PUBLIC WATERLINE EXTENSION: 2,885 LF
LENGTH OF PUBLIC SEWER EXTENSION: 2,518 LF



MULKEY
ENGINEERS & CONSULTANTS
PO BOX 33127
Raleigh, NC 27636-3127
(919) 851-1912
(919) 851-1918 (FAX)
(919) 851-1919 (TOLL FREE)
FIRM LICENSE NO. C-1-1021

PRELIMINARY PLANS
FOR REVIEW ONLY

**REYNOLDS MILL
PHASE 3 -- MASTER PLAN**

DEVELOPER:
ORLEANS HOMEBUILDERS, INC.
211 JAMES JACKSON AVE.
CARY, NC 27513

NO.	DATE	REVISIONS / REMARKS
1.	4-2-12	MASTER PLAN SUBMITTAL # 1

PROJECT NO: 2011076.00

DRAWN BY: DFB
DWG. CHECKED BY: MDA
SCALE: SEE PLAN
DATE: MARCH 15TH, 2012

SITE PLAN

C-200



**TOWN of
WAKE FOREST**

TECHNICAL REVIEW COMMITTEE

WAKE FOREST TOWN HALL
301 S. BROOKS STREET
2nd FLOOR, ROOM 201

WEDNESDAY, JUNE 20, 2012 at 10:00 A.M.
MEETING AGENDA

Meeting Format:

- The planner assigned to the project gives a brief overview and brings up any major issues that need the group's consensus.
 - In order, each TRC member/department representative provides their written comments to the planner and brings up any major issues that need discussing concerning their department.
 - Comments to the planner can be provided prior to the meeting, but please have written comments available at the meeting should they need to be amended.
 - At the conclusion of the project discussed, there should be a consensus to decide if the item should come back to the TRC or not based on the comments received.
 - This allows the planner to prepare a comprehensive staff comments document that can be sent to the appropriate engineer/development firm.
- Department Members: Planning, Public Works, Engineering, Administration, City of Raleigh
Utilities, Inspections, and Police

1. CALL TO ORDER

2. ITEMS FOR REVIEW

A. Construction Plan – Life Church

Size – .79 acres
Land Use – Church
Zoning – R-15
Location – 247 South Allen Road
Applicant – BNK
Planner - Charlie Yokley

B. Construction Plan – Carillon Wake Forest

Size – 4.43 acres
Land Use – Rest Home
Zoning – HB
Location – Heritage Trade Drive
Applicant – Tony Tate
Planner – Charlie Yokley

C. Master Plan – Capital Creek Apartments

Size – 21.79 acres

Land Use – 315 Apartment Units

Zoning – O-I (Proposed zoning C.U. MF)

Location – Rogers Road

Applicant – Mulkey

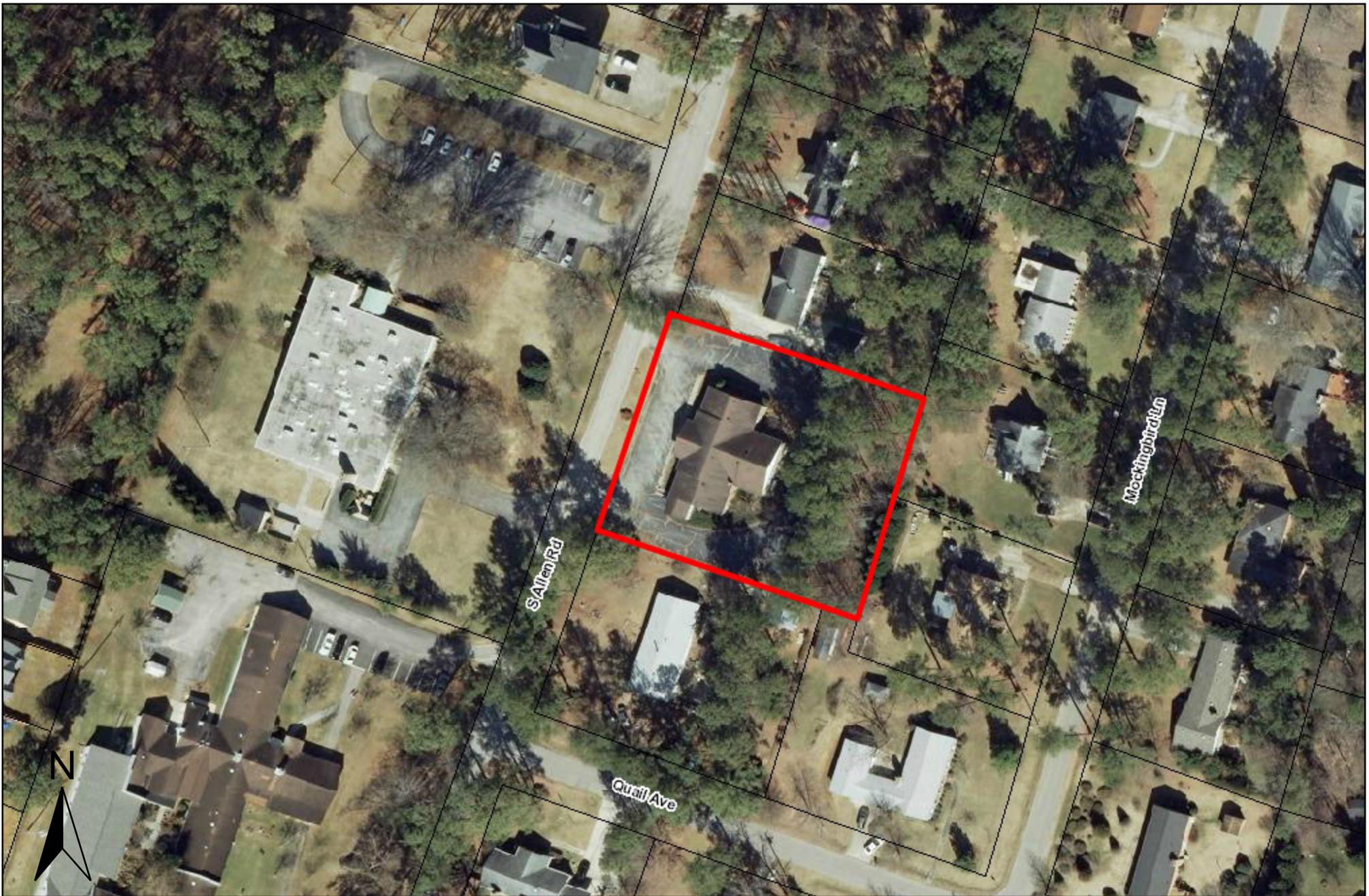
Planner – Chad Sary

4. OTHER BUSINESS:

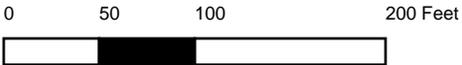
A. Report from City of Raleigh

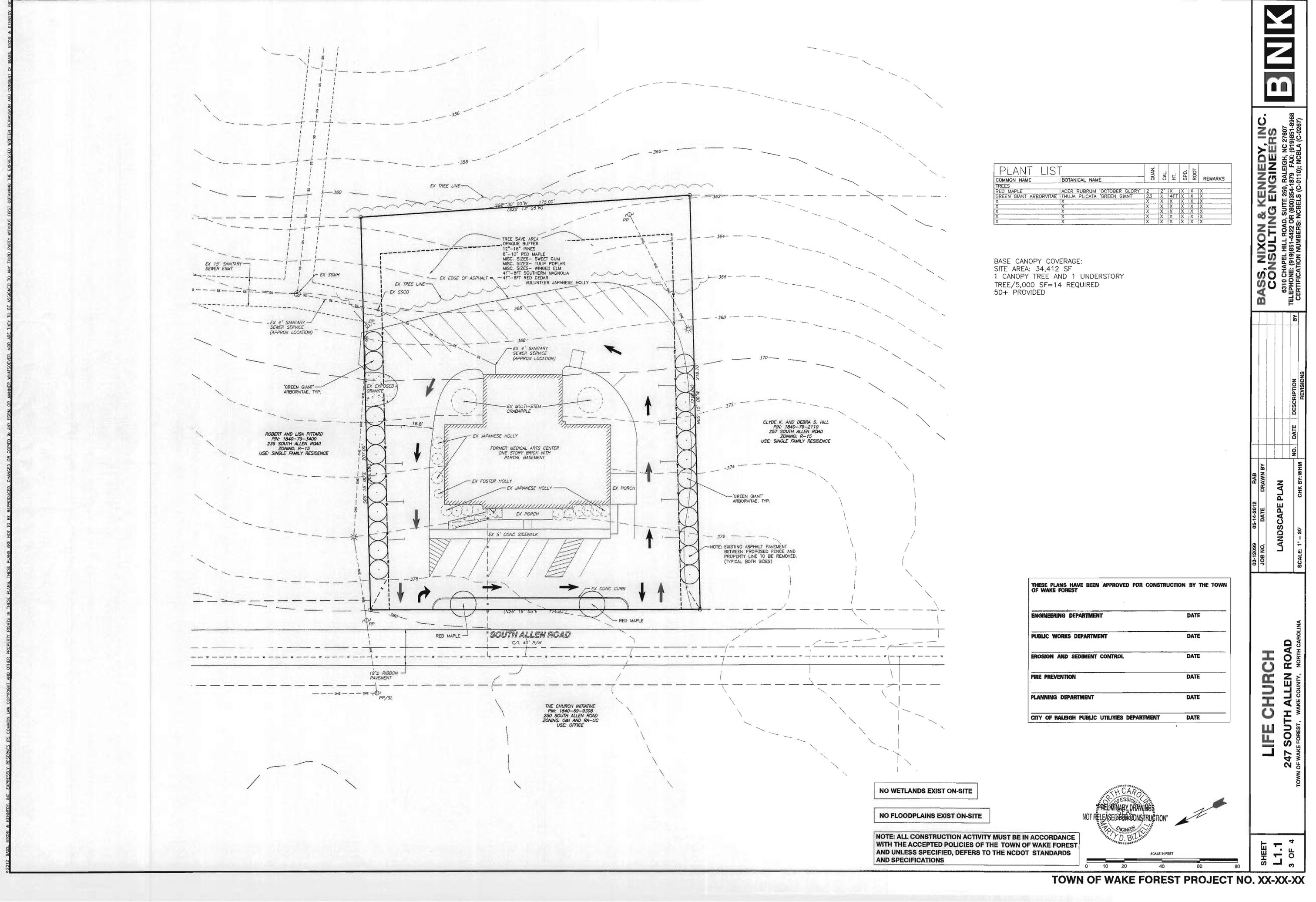
B. Discussion on Future Planning Board/Board of Commissioners Items.

5. ADJOURNMENT



CP-Life Church





PLANT LIST		QUAN.	CAL.	HT.	SFD.	ROOT	REMARKS
COMMON NAME	BOTANICAL NAME						
TREES							
RED MAPLE	ACER RUBRUM "OCTOBER GLORY"	2	2"	1X	X	X	X
GREEN GIANT ARBORVITAE	THUJA PLICATA "GREEN GIANT"	23	X	14FT	X	X	X
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BASE CANOPY COVERAGE:
 SITE AREA: 34,412 SF
 1 CANOPY TREE AND 1 UNDERSTORY
 TREE/5,000 SF=14 REQUIRED
 50+ PROVIDED

THESE PLANS HAVE BEEN APPROVED FOR CONSTRUCTION BY THE TOWN OF WAKE FOREST

ENGINEERING DEPARTMENT	DATE
PUBLIC WORKS DEPARTMENT	DATE
EROSION AND SEDIMENT CONTROL	DATE
FIRE PREVENTION	DATE
PLANNING DEPARTMENT	DATE
CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT	DATE

NO WETLANDS EXIST ON-SITE

NO FLOODPLAINS EXIST ON-SITE

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE TOWN OF WAKE FOREST AND UNLESS SPECIFIED, DEFERS TO THE NCDOT STANDARDS AND SPECIFICATIONS

NOT RELEASED FOR CONSTRUCTION

PROFESSIONAL SEAL: NORTH CAROLINA PROFESSIONAL ENGINEER, MARY D. BIZEL

SCALE IN FEET: 0 10 20 40 60 80

BANK

BASS, NIXON & KENNEDY, INC.
 CONSULTING ENGINEERS
 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
 TELEPHONE: (919)851-4422 OR (800)354-1879 FAX: (919)851-8968
 CERTIFICATION NUMBERS: NCBELS (C-0110); NCBLA (C-0267)

03-12089 JOB NO. 05-14-2012 DATE 05-14-2012 DATE DRAWN BY RAB

LANDSCAPE PLAN

NO. DATE DESCRIPTION REVISIONS

SCALE: 1" = 20'

CHK BY: WHM

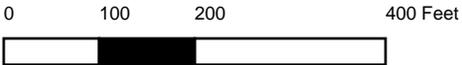
LIFE CHURCH
 247 SOUTH ALLEN ROAD
 TOWN OF WAKE FOREST, WAKE COUNTY, NORTH CAROLINA

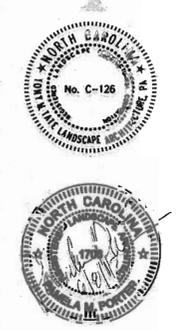
SHEET L1.1 3 OF 4

TOWN OF WAKE FOREST PROJECT NO. XX-XX-XX



CP-Resthome

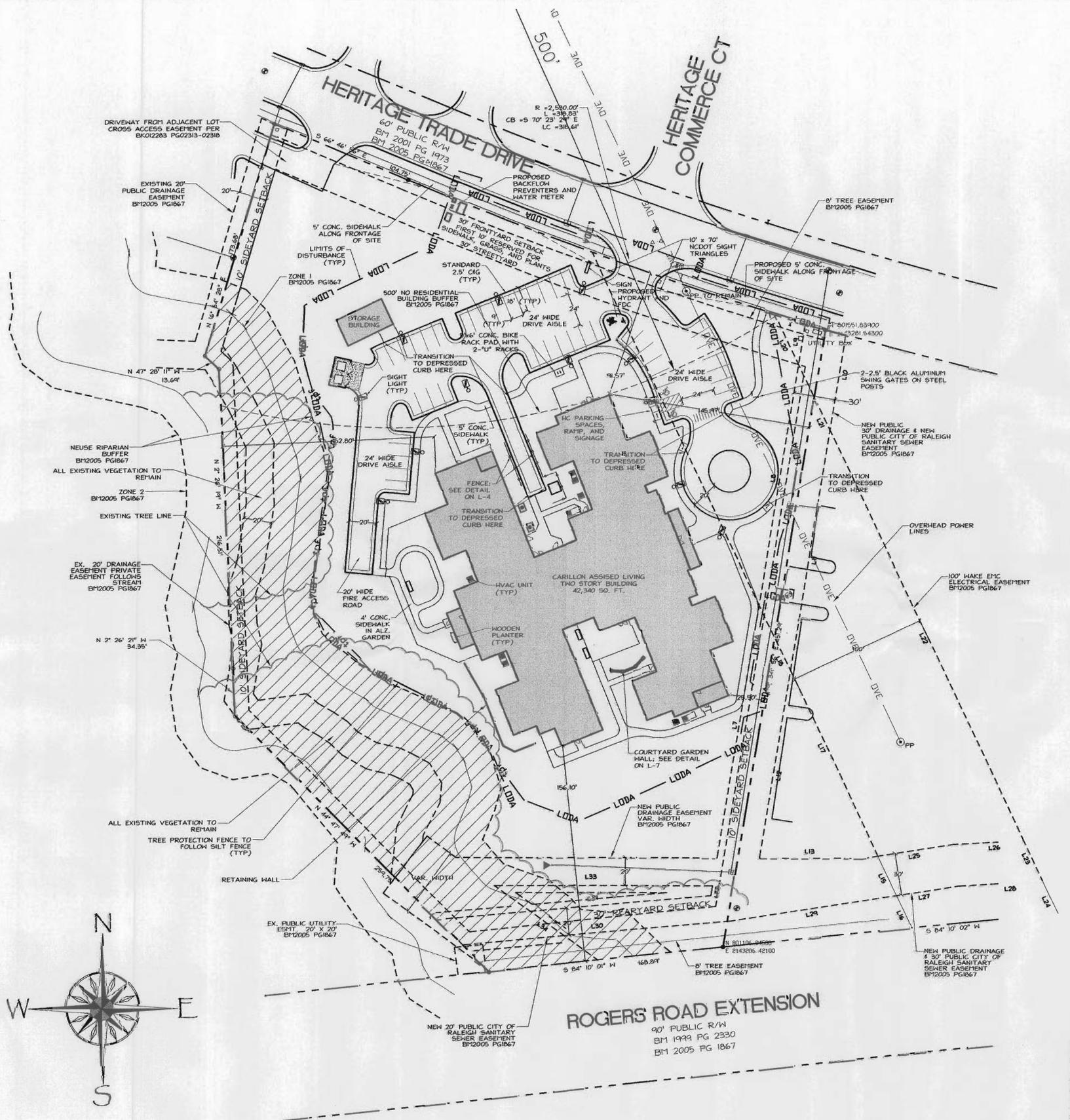




SITE DATA	
TOTAL AREA	193,043.51 S.F./4.43 ACRES
EXISTING ZONING	HB
EXISTING USE	VACANT
PROPOSED USE	REST AND NURSING HOME
PROPOSED BUILDING (INC 1st & 2nd FLOOR)	42,340 SQ. FT.
PROPOSED BUILDING HEIGHT	38 FT.
PROPOSED STORAGE BUILDING	720 SQ. FT.
PARKING REQUIRED	46 SPACES
1 SPACE PER EMPLOYEE AT MAX SHIFT 14 EMPLOYEES = 14 SPACES 1 PER 3 BEDS 3/8 BEDS = 32 SPACES	
PARKING PROVIDED	46 SPACES
EXISTING IMPERVIOUS	1,302.44 SQ. FT.
PROPOSED IMPERVIOUS	1.42 ACRES (32.05%)
PARKING - 23,966.39 S.F. BUILDING - 28,987.91 S.F. (INC. ACCESSORY BUILDING) SIDEWALK - 8,383.11 S.F. HVAC & TRANSFORMER PADS - 323.72 S.F.	
TOTAL IMPERVIOUS	1.43 ACRES (32.28%)
WATERSHED	NEUSE
PIN	1840-31-0355
LINEAR FEET OF PUBLIC SIDEWALK*	352.29'
*LOCATED IN RIGHT-OF-WAY	

LEGEND	
	STREAM BUFFER BM2005 PG 1867
MINIMUM SETBACKS	
FRONT SETBACK	- 30'
SIDE SETBACK	- 10'
REAR SETBACK	- 30'

- NOTES:
- Boundary and field topographic information taken from file by Sullivan Surveying and Hulkey Engineering Consultants.
 - This site does not contain Special Flood Hazard Areas per FIRM Panel # 3720184000J dated May 2, 2006.
 - Contractor shall verify the location of all existing utilities and shall be responsible for any damage resulting from his activities. Call utility locator service at least 48 hours prior to digging.
 - All construction shall be in accordance with all Town of Wake Forest standards and specifications.
 - All construction shall conform to all state and local standards and specifications and code requirements. Notify designer of any discrepancies. If discrepancies are found the more stringent requirements will prevail.
 - All utilities shall be located underground.
 - No changes may be made to the approved drawings without written permission from the issuing authority.
 - Do not scale the drawings. Digital information is provided for construction drawings.
 - Contractor shall coordinate all work with all construction trades prior to start of construction.
 - All dimensions are referenced from back-of-curb to back-of-curb.
 - Erosion control plans shall be approved prior to any grading on this site.
 - Boundary information shall be field verified by Professional Surveyor before construction staking begins.
 - All parking spaces shall be surfaced with 6" c&c and 2" of 1-2 asphalt. Drive aisles shall be surfaced with 8" c&c and 2" of 1-2 asphalt.
 - Note that within landscaped areas surrounding building, the grades shown on the grading sheet are "Top of Mulch" or "Top of Topsoil". Contractor shall ensure positive finished drainage (min. 2%) from all building areas and coordinate with the landscape plan to leave subgrade low enough to maintain the spots as finished grade.
 - The minimum corner clearance from the curb line of intersecting streets shall be at least 20 feet from the point of tangency.



THESE PLANS HAVE BEEN APPROVED FOR CONSTRUCTION BY THE TOWN OF WAKE FOREST.

ENGINEERING DEPARTMENT	DATE
PUBLIC WORKS DEPARTMENT	DATE
EROSION AND SEDIMENT CONTROL	DATE
FIRE PREVENTION	DATE
ACCESSIBILITY	DATE
PLANNING DEPARTMENT	DATE
CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT	DATE



ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water and sewer, as approved in these plans, is responsible for contacting the Public Utilities Department at 857-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require installation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

ATTENTION CONTRACTORS

THESE PLANS ARE FOR THE REVIEW AND APPROVAL BY THE LOCAL MUNICIPALITY AND/OR OTHER GOVERNMENTAL JURISDICTION.

UNTIL ISSUED FOR CONSTRUCTION BELOW, REQUIRED CORRECTIONS, REVISIONS, ADDITIONS, AND DELETIONS ARE POSSIBLE.

OBTAIN APPROVED CONSTRUCTION DOCUMENTS PRIOR TO CONSTRUCTION.

BID SETS ISSUED: _____

APPROVED FOR CONSTRUCTION: _____

ADDENDUMS OR CHANGE ORDERS: _____

THIS DRAWING IS PROPERTY OF TONY M. TATE LANDSCAPE ARCHITECTURE AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT PERMISSION.

THIS DRAWING IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

REVISIONS:

SITE PLAN
CARILLON WAKE FOREST
HERITAGE TRADE DRIVE
CARILLON ASSISTED LIVING

SCALE:
1" = 40'
DRAWN BY:
PMP
PROJECT #
DATE:
5/1/2012
SHEET
L-2
OF



Grandmark St

Rogers Rd

Heritage Trade Dr

Heritage Commerce Ct

Forestville Rd

Branch Ferry Cr

Branch River Way

Piney Hill Run

Harpers Ferry Ct

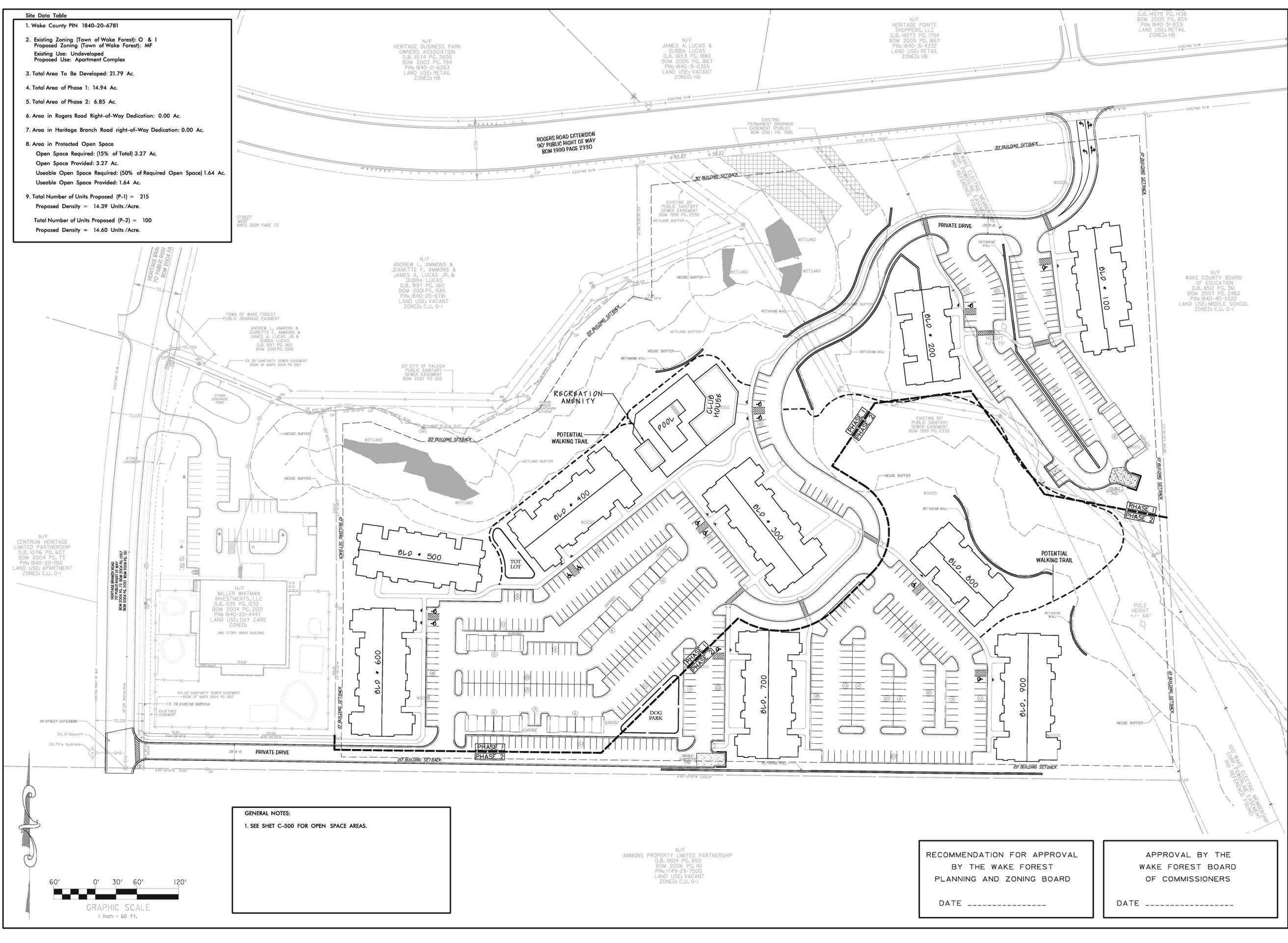
Heritage Branch Rd

Heritage Middle / Elementary School

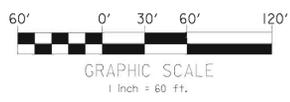
Smith Creek

Site Data Table

- Wake County PIN 1840-20-6781
- Existing Zoning (Town of Wake Forest): O & I
Proposed Zoning (Town of Wake Forest): MF
Existing Use: Undeveloped
Proposed Use: Apartment Complex
- Total Area To Be Developed: 21.79 Ac.
- Total Area of Phase 1: 14.94 Ac.
- Total Area of Phase 2: 6.85 Ac.
- Area in Rogers Road Right-of-Way Dedication: 0.00 Ac.
- Area in Heritage Branch Road right-of-Way Dedication: 0.00 Ac.
- Area in Protected Open Space
Open Space Required: (15% of Total) 3.27 Ac.
Open Space Provided: 3.27 Ac.
Useable Open Space Required: (50% of Required Open Space) 1.64 Ac.
Useable Open Space Provided: 1.64 Ac.
- Total Number of Units Proposed (P-1) = 215
Proposed Density = 14.39 Units/Acre.
Total Number of Units Proposed (P-2) = 100
Proposed Density = 14.60 Units/Acre.



GENERAL NOTES:
1. SEE SHET C-500 FOR OPEN SPACE AREAS.



RECOMMENDATION FOR APPROVAL
BY THE WAKE FOREST
PLANNING AND ZONING BOARD
DATE _____

APPROVAL BY THE
WAKE FOREST BOARD
OF COMMISSIONERS
DATE _____

CAPITAL CREEK MASTER PLAN AT HERITAGE WAKE FOREST

MULKEY
ENGINEERS & CONSULTANTS
P.O. BOX 33127
Raleigh, NC 27636-3127
(919) 851-1912
(919) 851-1918 (FAX)
WWW.MULKEY-ENR.COM
FIRM LICENSE NO. C-1-1021

T/W/O CAPITAL PARTNERS
3445 PEACHTREE ROAD NE, SUITE 465
ATLANTA, GEORGIA, 30326

NO.	DATE	REVISIONS
1.	5-25-12	REMARKS 1ST SUBMITTAL
2.		
3.		
4.		
5.		
6.		
7.		
8.		

PROJECT NO: 2012018.00
DRAWN BY: DFB
DWG. CHECKED BY: MDA
SCALE: SEE PLAN
DATE: MAY 25TH, 2012

SITE
PLAN
C-200



**TOWN of
WAKE FOREST**

TECHNICAL REVIEW COMMITTEE
WAKE FOREST TOWN HALL
301 S. BROOKS STREET
2nd FLOOR, ROOM 201

THURSDAY JULY 26, 2012 at 10:00 A.M.
MEETING AGENDA

1. CALL TO ORDER

2. ITEMS FOR REVIEW

A. Master Plan – Capital Creek Apartments (2nd review)

Size – 21.79 acres

Land Use – 315 Apartment Units

Zoning – O-I (Proposed zoning C.U. MF)

Location – Rogers Road

Applicant – Mulkey

Planner – Chad Sary

B. Development Plan – Swiss Farms

Size – .6896 acres

Land Use – Retail

Zoning – R-15, requesting NB

Location – 2005 S. Main Street

Applicant – BNK

Planner - Charlie Yokley

4. OTHER BUSINESS:

A. Report from City of Raleigh

B. Discussion on Future Planning Board/Board of Commissioners Items.

5. ADJOURNMENT



S Main St

Ligon Mill Rd

1A

Carter St

Mangum Ave



Grandmark St

Rogers Rd

Heritage Trade Dr

Heritage Commerce Ct

Forestville Rd

Branch Ferry Ct

Branch River Way

Piney Hill Run

Harpers Ferry Ct

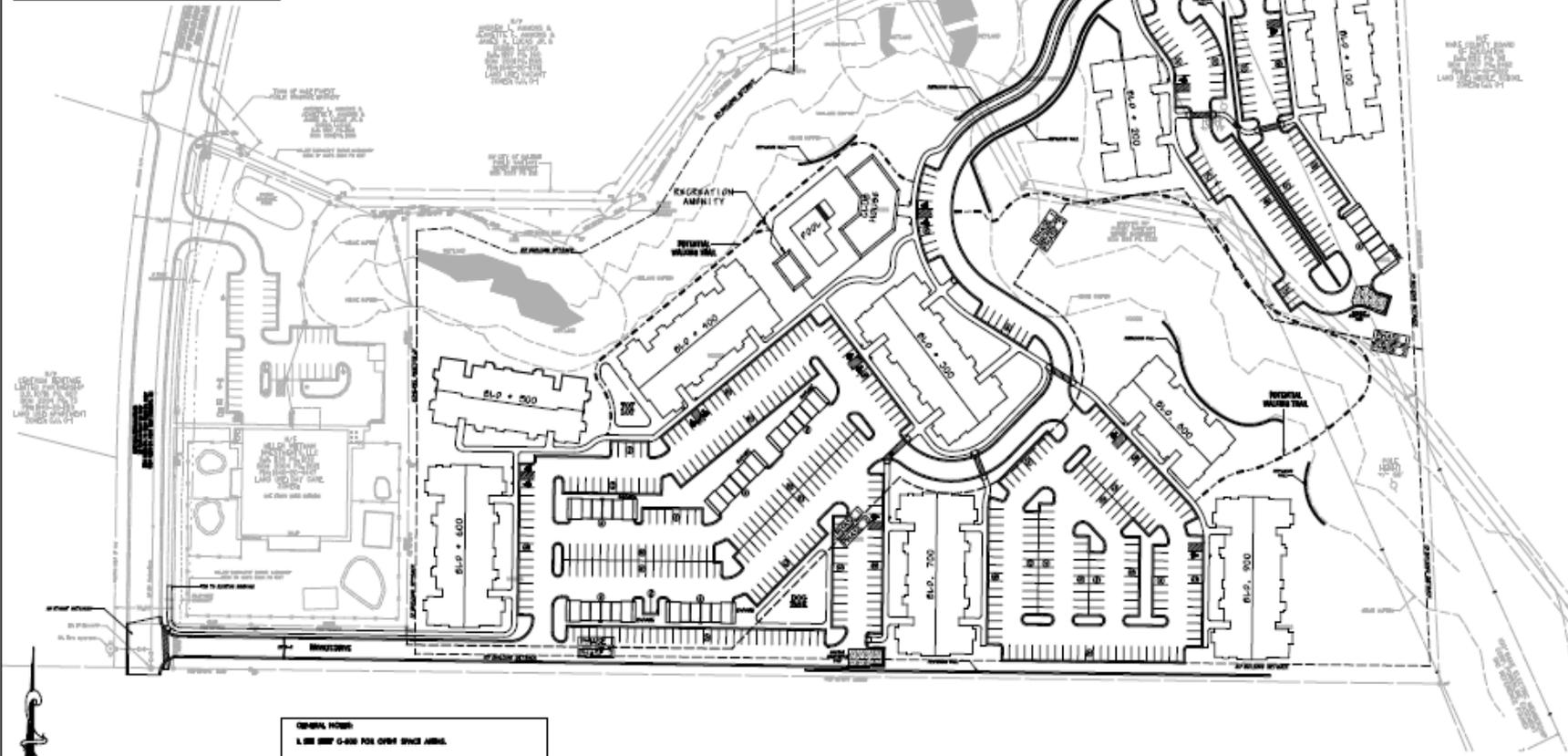
Heritage Branch Rd

Heritage Middle
Elementary School

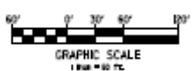
Smith Center Rd

Original Plan:

- Site Data Table**
1. Vicks County PFD 1640-22-4781
 2. **Building Footprint (Form of Wake Forest) 0.51**
Proposed Building (Form of Wake Forest) 2.01
Building Area (Underground)
Proposed (Underground) Consider
 3. **Backbone To Be Developed 23.79 Ac.**
 4. **Backbone of Phase 2: 24.74 Ac.**
 5. **Backbone of Phase 3: 4.89 Ac.**
 6. **Area In Right-of-Way Right-of-Way Deduction 4.89 Ac.**
 7. **Area In Bridge Right-of-Way Right-of-Way Deduction 0.80 Ac.**
 8. **Area In Proposed Open Space**
Open Space Required 20% of Total 5.37 Ac.
Open Space Provided 5.37 Ac.
Usable Open Space Required 20% of Proposed Open Space 1.04 Ac.
Usable Open Space Provided 1.04 Ac.
 9. **SOB: Number of Units Proposed (P-Q) = 382**
Proposed Density = 14.59 Units/Acre.
 10. **Total Number of Units Proposed (P-Q) = 100**
Proposed Density = 14.68 Units/Acre.



GENERAL NOTES
 1. SEE SHEET G-200 FOR OPEN SPACE AMBL.



BY
 ARCHITECT
 1000 W. WAKE FOREST DRIVE
 WAKE FOREST, NC 27158
 (703) 835-1100
 WWW.MULKEYGROUP.COM

RECOMMENDATION FOR APPROVAL
 BY THE WAKE FOREST
 PLANNING AND ZONING BOARD
 DATE _____

APPROVAL BY THE
 WAKE FOREST BOARD
 OF COMMISSIONERS
 DATE _____

MULKEY
 ARCHITECTURE & COMMUNICATIONS
 1000 W. WAKE FOREST DRIVE
 WAKE FOREST, NC 27158
 (703) 835-1100
 WWW.MULKEYGROUP.COM

CAPITAL CREEK MASTER PLAN AT HERITAGE WAKE FOREST

27150 CAPITAL WALKWAY
 WAKE FOREST, NC 27158
 ATLANTA, GEORGIA, USA

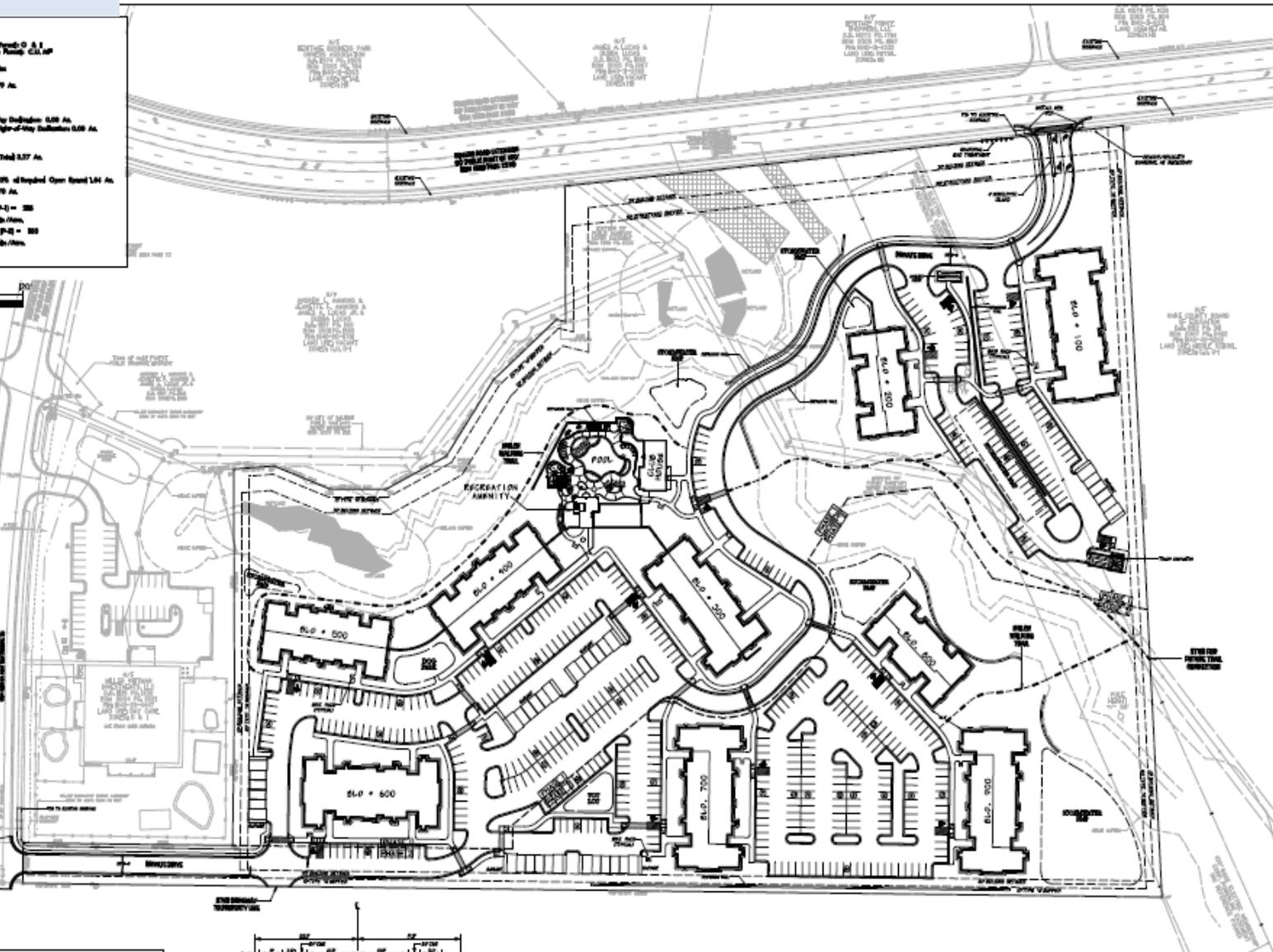
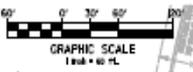
NO.	DATE	DESCRIPTION
1	10/1/2011	PRELIMINARY
2	10/1/2011	REVISION
3	10/1/2011	REVISED
4	10/1/2011	REVISED
5	10/1/2011	REVISED
6	10/1/2011	REVISED
7	10/1/2011	REVISED
8	10/1/2011	REVISED
9	10/1/2011	REVISED
10	10/1/2011	REVISED
11	10/1/2011	REVISED
12	10/1/2011	REVISED
13	10/1/2011	REVISED
14	10/1/2011	REVISED
15	10/1/2011	REVISED
16	10/1/2011	REVISED
17	10/1/2011	REVISED
18	10/1/2011	REVISED
19	10/1/2011	REVISED
20	10/1/2011	REVISED

PROJECT NO. 2011010101
 DRAWN BY: DFM
 DATE: 10/1/2011
 CHECKED BY: MDA
 SCALE: AS SHOWN
 SHEET NO. 2011010101
 DATE: MAY 2011, 2012

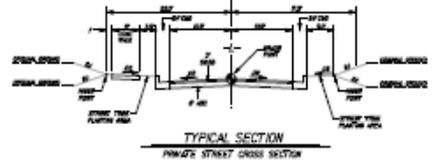
SITE PLAN

C-200

1. Wake County PD 1949-23-4782
2. Existing Zoning Map of Wake County: O & I
Proposed Zoning: Office Professional Complex
Building Uses: Under-served
Proposed Uses: Apartment Complex
3. Total Area To Be Developed: 21.79 Ac.
4. Total Area of Phase 1: 14.24 Ac.
Total Area of Phase 2: 7.55 Ac.
Area to Be Open Space: Right-of-Way Dedication: 0.28 Ac.
Area to Be Open Space: Road Right-of-Way Dedication: 0.28 Ac.
5. Area to Be Open Space
Open Space Required: 20% of Total: 3.27 Ac.
Open Space Provided: 3.07 Ac.
Additional Open Space Required: 20% of Required Open Space: 1.44 Ac.
Additional Open Space Provided: 1.70 Ac.
6. Total Number of Units Proposed (P-1) = 388
Proposed Density = 16.77 Units/Acre
Total Number of Units Proposed (P-2) = 388
Proposed Density = 16.40 Units/Acre
7. Maximum Building Height: 35.0'



- GENERAL NOTES:**
1. SEE SHEET C-200 FOR OTHER SPACE AREAS.
 2. ACCESS TO SHERWOOD DRIVE ROAD TO BE CONSTRUCTED DURING PHASE 1.
 3. WALKWAYS REQUIRED FROM OPENING AREAS.
 4. BALCONIES ARE FULLY ENCLOSED.
 5. ALL OPEN SPACES TO BE MAINTAINED BY PROPERTY MANAGEMENT COMPANY.
 6. SHERWOOD VEGETATION AND OPENING AREAS SHALL BE PROTECTED TO THE GREATEST EXTENT POSSIBLE.



MADE FROM THE
L.S. 100 P.L. 80
SHEET 100-100
DATE 10-27-10
BY: [Signature]

RECOMMENDATION FOR APPROVAL
BY THE WAKE FOREST
PLANNING AND ZONING BOARD
DATE _____

APPROVAL BY THE
WAKE FOREST BOARD
OF COMMISSIONERS
DATE _____

MULKEY
ARCHITECTS
1000 W. GOLF COURSE RD.
SUITE 100
RALEIGH, NC 27601
PHONE: 919.875.1000
FAX: 919.875.1001

**CAPITAL CREEK MASTER PLAN
AT HERITAGE WAKE FOREST**
7710 CAPITAL PARKWAY
3401 WALKER ROAD, N.E. SUITE 405
ATLANTA, GEORGIA, 30328

NO.	DATE	BY	DESCRIPTION
1	10/27/10	[Signature]	PRELIMINARY
2	11/10/10	[Signature]	REVISED
3	11/10/10	[Signature]	REVISED
4	11/10/10	[Signature]	REVISED
5	11/10/10	[Signature]	REVISED
6	11/10/10	[Signature]	REVISED
7	11/10/10	[Signature]	REVISED
8	11/10/10	[Signature]	REVISED
9	11/10/10	[Signature]	REVISED
10	11/10/10	[Signature]	REVISED

PROJECT NO: 2010016.00
DRAWN BY: GFB
CHECKED BY: MGA
DATE: MAY 20TH, 2012
DATE: MAY 20TH, 2012
SITE PLAN
C-200